
CITY OF SUSANVILLE
66 N. Lassen Street • Susanville CA

James Merchant, Vice Chair
Tony Ardito • Wayne Jambois • Rod DeBoer

Susanville Planning Commission
Regular Planning Commission Meeting •
Tuesday, August 13, 2024 - 5:30 PM

CALL TO ORDER
ROLL CALL

1. **APPROVAL OF AGENDA:** *(Additions and/or Deletions)*
2. **BUSINESS FROM THE FLOOR:** *Any person may address the Commission at this time upon any subject on the agenda or not on the agenda within the jurisdiction of the City of Susanville Planning Commission. However, comments on items on the agenda may be reserved until the item is discussed and any matter not on the agenda that requires action will be referred to staff for a report and action at a subsequent meeting.*
Presentations are subject to a five-minute limit.
3. **PUBLIC HEARINGS:**
 - 3.A Consider Resolution No. 24-1177, approving the assessment of civil penalties against the property owner of 6 Monrovia St. for APN 107-156-009-000, for noncompliance with Nuisance Abatement Order NA 2023-005.
 - 3.B Consider Resolution No. 24-1179, approving the assessment of civil penalties against the property owner of 1005 North St. for APN 103-242-007-000, for non compliance with Nuisance Abatement Order NA 2023-004.
 - 3.C Consider approval of Resolution No. 24-1181, considering an amendment to the approved conditions of Use Permit #2023-009, to allow the addition of an 8ft. security fence.
 - 3.D Consider Resolution No. 24-1182. USE PERMIT/ARCHITECTURAL REVIEW #2024-010, Susanville Indian Rancheria Housing Authority (SIRHA). The applicant is proposing (one) two story four plex multi-family housing project located at 300 Alexander Avenue (APN #107-083-002-000)
4. **NEW BUSINESS:**
 - 4.A Consider the appointment of a Chair and Vice Chair for the Susanville Planning Commission
5. **CORRESPONDENCE:**
6. **COUNTY REFERRALS:**
7. **ADJOURNMENT:** **The next regular meeting of the Susanville Planning Commission will be held on August 27, 2024 at 5:30PM.*

Reports and documents relating to each agenda item are on file in the Office of the City Clerk and are available for public inspection during normal business hours and at the meeting. These reports and documents are also available at the City's website www.cityofsusanville.net, unless there were systems problems posting to the website.

Accessibility: An interpreter for the hearing-impaired may be made available upon request to the City Clerk seventy-two hours prior to a meeting. A reader for the vision-impaired for purposes of reviewing the agenda may be made available upon request to the City Clerk. The location of this meeting is wheelchair-accessible.

I, Ruth McElrath, certify that I caused to be posted notice of the regular meeting scheduled for August 13, 2024 in the areas designated on August 9, 2024.

The Planning Commission's action on Use Permit (including Planned Development Use Permits) and Variance items may be appealed to the City Council within 5 business days of action. The Planning Commission's action on Tentative Subdivision items may be appealed to the City Council within 10 business days of action. Appeals of the Planning Commission's action must be made in writing on the form provided by the City and must be accompanied by a fee adopted by the City Council. Appeals of Planning Commission actions must be based on comments made known (either through written or verbal comment) at the Planning Commission Meeting. Please contact the Community Development Department for more information regarding appeals.

AGENDA ITEM NO. 3.A
Public Hearing

SUSANVILLE PLANNING COMMISSION AGENDA ITEM

Submitted By: Michael Prettyman, Building & Planning Division

Action Date: August 13, 2024

SUBJECT: Consider Resolution No. 24-1177, approving the assessment of civil penalties against the property owner of 6 Monrovia St. for APN 107-156-009-000, for noncompliance with Nuisance Abatement Order NA 2023-005.

PRESENTED BY: Kelly Mumper and Mike Prettyman

SUMMARY: The Susanville Planning Commission approved the issuance of a Nuisance Abatement Order (NA2023-005) at a duly noticed public hearing on June 13, 2023 which ordered Kenneth George Morris II, to abate nuisance conditions at 6 Monrovia St. (APN 107-156-009-000). The following code violations were observed and not rectified throughout the abatement order period: 8.32.050 (a)(2) SMC; 8.32.050 (c)(1) SMC; 8.32.050 (c)(2) SMC; 8.32.050 (c)(4) SMC; 8.52.030 (e)(1) SMC; 8.52.030 (e)(2) SMC; 8.52.030 (e)(3) SMC

FISCAL IMPACT: Increase to the Code Enforcement abatement fund in the amount of \$10,000.00 plus any accrued interest, once the cost report and lien hearing is finalized through City Council at a future meeting.

ACTION REQUESTED: Motion to approve Resolution No. 24-1177, approving the assessment of civil penalties against the property owner of 6 Monrovia St. for APN 107-156-009-000, for noncompliance with Nuisance Abatement Order NA 2023-005.

ATTACHMENTS:
[24-6-11 Monrovia Signed Notice of Hearing \(owner\).pdf](#)
[20240619_082026.jpg](#)
[20240619_082043.jpg](#)
[6 Monrovia Nuisance Abatement Order \(Resolution NO. 23-1150\).pdf](#)
[Nuisance Abatement Order After Hearing NA2023-005 - 6 Monrovia.doc](#)
[24-7-15 Notice of Public Hearing 1.pdf](#)
[Resolution_NO._24-1177__3_\(2\).doc](#)
[20240805_085226.jpg](#)
[20240805_085223.jpg](#)



City of Susanville

(530) 252-5100 • 66 North Lassen Street • Susanville, CA 96130-3904

NOTICE OF PUBLIC HEARING

(Susanville Municipal Code § 8.32.120)

June 11, 2024

Kenneth George Morris II
720 Country Rd. 99W
Orland, CA 95963

RE: 6 Monrovia St.
Susanville, CA 96130
Code Enforcement Case # CE2023-034

Dear Kenneth George Morris II:

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Susanville will conduct a Public Hearing pursuant to Susanville Municipal Code Chapter 8.32 to solicit comments regarding the issuance of administrative penalties related to the current nuisance abatement order associated with the subject property.

The Public Hearing will be held on Thursday June 25, 2024, at 5:30 P.M. (or as soon thereafter as the agenda permits) in the Susanville City Council Chambers located at 66 North Lassen Street, Susanville, California. The public is invited to attend and provide oral and/or written comments. Written comments must be received prior to 4:00 P.M. Friday June 21, 2024, for Planning Commission review.

If you have any questions or concerns regarding this notice, you may contact the Building and Planning Division at (530) 252-5118.

Respectfully,

Michael Prettyman
Code Enforcement Officer

Mendy Schuster
Mayor
Russ Brown
Mayor pro tem

Councilmembers:
Curtis Bortle
Dawn Miller
Patrick Parrish





RESOLUTION NO. 23-1150

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SUSANVILLE
APPROVING THE ISSUANCE OF A NUISANCE ABATEMENT ORDER NA2023-005 AND
ORDERING THE PROPERTY OWNER OF 6 MONROVIA STREET TO ABATE NUISANCE
CONDITIONS**

WHEREAS, California Government Code Sections 36901, 38771, and 38773.5(a) authorizes the City of Susanville to enact ordinances declaring what constitutes a nuisance, the procedures for abating nuisance conditions, providing for the recovery of costs and attorney fees to abate the nuisance, and providing for the collection of civil penalties; and

WHEREAS, the Susanville City Council adopted Ordinance 17-1011 that declares conditions of real property that constitute a public nuisance and provides for the abatement of said nuisance conditions; and

WHEREAS, a public nuisance has been declared upon the property of 6 Monrovia Street and attempts to bring the property into voluntary compliance have been futile; and

WHEREAS, the City of Susanville intend to have the property abated to remove the nuisance conditions and therefore invoke Chapter 8.32 of the Susanville Municipal Code and request the Susanville Planning Commission issue a nuisance abatement order to compel the property owners to abate and remove nuisance conditions or the city of Susanville shall be authorized to perform the necessary abatement work.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Susanville hereby approves the issuance of a Nuisance Abatement Order NA2023-005 and orders Kenneth George Morris II landowner of 6 Monrovia Street (APN 107-156-009-000), to abate nuisance conditions.

APPROVED:



Melanie Westbrook, Chairperson

ATTEST:



Heidi Whitlock, City Clerk

The foregoing resolution was adopted at a regular meeting of the Planning Commission of the City of Susanville, held on the 13th day of June 2023, by the following vote:

AYES: DeBoer, Ardito, Merchant and Westbrook

NOES: None

ABSENT: Jambois

ABSTAIN: None



Heidi Whitlock, City Clerk

1 Margret E. Long SBN: 227176
2 City Attorney for City of Susanville
3 66 North Lassen Street
4 Susanville, CA 96130
5 Phone: 530-252-5100
6 attorney@cityofsusanville.org

7 Attorney for: Petitioner/City of Susanville

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PLANNING COMMISSION
CITY OF SUSANVILLE

City of Susanville, Petitioner v KENNETH GEORGE MORRIS II Respondent
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Nuisance Abatement Order
NA2023-005

Hearing: June 13, 2023, at 5:30 p.m. in
Council Chambers
66 North Lassen Street
Susanville, CA 96130

1. This proceeding was heard:
 - a. On June 13, 2023, at 5:30 pm in the Council Chambers at 66 North Lassen Street, Susanville, CA 96130.
 - b. By the Planning Commission of the City of Susanville (also referred to as the Hearing Board or the Board) with the following commissioners of the Planning Commission present: Melanie Westbrook, James Merchant, Rod DeBoer, Wayne Jambois, and Tony Ardito.
 - c. Melanie Westbrook presided over the procedure as Chairperson.
 - d. This matter was set on a "Notice of Intention to Abate Public Nuisance & Notice of Public Hearing" dated May 8, 2023, and served on Respondent, KENNETH GEORGE MORRIS II, by Certified Mail on May 8, 2023, and posted on the structure at 6 Monrovia Street on May 8, 2023.
 - e. Present at the hearing where:

- i. Cody Loflin, Code Enforcement Officer II, Kelly Mumper, City Planner, Ruth McElrath, Permit Technician / Secretary of the Planning Commission, Jolene Arredondo, Assistant to the City Administrator, Erik Edholm, Assistant Director of Public Works, and Robert Godman, Director of Public Works representing the City of Susanville and
- ii. The Respondent did not appear at this hearing.

FINDINGS

The Hearing Board makes the following findings.

1. Pursuant to City of Susanville Municipal Code chapter 8.32.040, "No person may maintain or use property or allow their property to be maintained or used in a manner that creates or fosters the creation of a public nuisance."
2. KENNETH GEORGE MORRIS II owns the residential property and is the responsible party for the property located at 6 Monrovia Street.
3. KENNETH GEORGE MORRIS II was properly served with a Notice of Violation on April 26, 2023 with service pursuant to City of Susanville Municipal Code section 8.32.060.
4. KENNETH GEORGE MORRIS II was properly served with a Notice of Intention to Abate Public Nuisance and Notice of Public Hearing on May 8, 2023, and that said notice was properly posted at 6 Monrovia Street on May 8, 2023, pursuant to City of Susanville Municipal Code section 8.32.090.
5. The condition of the property located at 6 Monrovia Street is a public nuisance as defined by City of Susanville Municipal Code section 8.32.050.

Orders

The Hearing Board orders the following.

1. KENNETH GEORGE MORRIS II must abate the public nuisance at 6 Monrovia Street by doing the following at 6 Monrovia Street:
 - a. The onsite dumpster is inadequate for trash and debris generated at the property.

- b. All abandoned household items and furnishings, debris, garbage, junk, rubbish, household appliances, furnishings, items that are on the property shall be removed and disposed of in accordance with local, state, and federal laws.
 - c. Overgrown grasses and weeds shall be cut down and/or mowed.
 2. KENNETH GEORGE MORRIS II must fully abate and remove conditions contributing to the declaration of a public nuisance no later than Monday June 26, 2023 by 8:00 a.m.
 3. KENNETH GEORGE MORRIS II must obtain any and all required permits that may be required to abate public nuisance at 6 Monrovia Street.
 4. After KENNETH GEORGE MORRIS II abates the nuisance at 6 Monrovia Street, KENNETH GEORGE MORRIS II must contact the Building and Planning Department at the City of Susanville and request that an official at the City of Susanville inspect the condition of the property and buildings at 6 Monrovia Street to determine if the public nuisance was abated.
 5. If KENNETH GEORGE MORRIS II does not abate the public nuisance at 6 Monrovia Street by 8:00 a.m. on June 26, 2023, the City of Susanville may have the property at 6 Monrovia Street abated.
 6. If KENNETH GEORGE MORRIS II does not abate the public nuisance at 6 Monrovia Street by 8:00 a.m. on June 26, 2023, the Susanville Planning Commission orders an administrative penalty pursuant to section 8.32.290 of the City of Susanville Municipal Code shall be assessed as followed:
 - a. Assessment of \$100.00 per day until the nuisance abatement order has been complied with.
 - b. Effective from June 26, 2023.
 - c. The maximum administrative penalty shall be \$10,000, exclusive of administrative costs and interest.
 7. All costs of the City's abatement efforts, including the abatement work and administrative time to investigate and to hear and effect the abatement shall be charged against

KENNETH GEORGE MORRIS II as a personal debt or may be assessed upon 6 Monrovia Street and will constitute a lien or special assessment upon the property until paid.

8. This Order shall be effective for one year after issuance. During such period, the hearing board shall retain jurisdiction over the conditions of the building, structure or property which constituted the nuisance established by this Order, as well as the abatement thereof, to ensure that the nuisance does not reoccur and that the building, structure, or property is maintained in such a manner so as not to create a nuisance. If, during this one-year period, any enforcement official determines that the same or another nuisance, as defined by this chapter exists with respect to the building, structure or property, he or she may give notice to abate the nuisance as provided for in section 8.32.060 of the City of Susanville Municipal Code. If KENNETH GEORGE MORRIS II does not abate the nuisance at any time within the abatement period, the City may proceed with the abatement itself under the provisions of section 8.32.190 of the City of Susanville Municipal Code without further action of the hearing board. The City of Susanville may also recover all of its abatement effort costs as provided for in the City of Susanville Municipal Code.

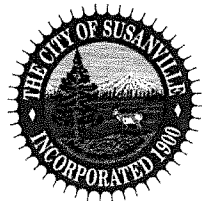
Appeal

Whenever any person is aggrieved by this final order of the Hearing Board, this person may appeal the Nuisance Abatement Order to the City Council of the City of Susanville. To request an appeal, the person aggrieved by this order shall notify the City Clerk, in writing, within twenty-one (21) days of the issuance of this order of their request to have this appeal heard by the City Council. The aggrieved person shall deposit two hundred dollars (\$200.00) to the City of Susanville. The appellant shall be responsible for all costs of such appeal which exceeds the deposited amount. If the aggrieved person requests an appeal hearing, this hearing shall be granted within forty-five (45) days of the filing appeal at a regularly scheduled meeting of the Susanville City Council. The appellant shall be notified no less than ten (10) days of the scheduled appeal hearing.

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The foregoing order was adopted at a regular meeting of the Planning Commission of the city of Susanville, held on the 13th day of June 2023.

Dated: _____
Melanie Westbrook
Susanville Planning Commission



City of Susanville

(530) 252-5100 • 66 North Lassen Street • Susanville, CA 96130-3904

NOTICE OF PUBLIC HEARING

July 15, 2024

Kenneth George Morris II
720 Country Rd. 99W
Orland, CA 95963

RE: 6 Monrovia St.
Susanville, CA 96130
Code Enforcement Case # CE2023-034

Dear Kenneth George Morris II:

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Susanville will conduct a Public Hearing pursuant to Susanville Municipal Code Chapter 8.32 to solicit comments regarding the issuance of administrative penalties related to the current nuisance abatement order associated with the subject property.

The Public Hearing will be held on Tuesday, August 13, 2024, at 5:30 P.M. (or as soon thereafter as the agenda permits) in the Susanville City Council Chambers located at 66 North Lassen Street, Susanville, California. The public is invited to attend and provide oral and/or written comments. Written comments must be received prior to 4:00 P.M. Friday August 9, 2024, for Planning Commission review.

If you have any questions or concerns regarding this notice, you may contact the Building and Planning Division at (530) 252-5118.

Respectfully,

Michael Prettyman
Code Enforcement Officer

Mendy Schuster
Mayor
Russ Brown
Mayor pro tem

Councilmembers:
Curtis Bortle
Dawn Miller
Patrick Parrish

WHEREAS, California Government Code Sections 36901, 38771, and 38773.5(a) authorizes the City of Susanville to enact ordinances declaring what constitutes a nuisance, the procedures for abating nuisance conditions, providing for the recovery of costs and attorney fees to abate the nuisance, and providing for the collection of civil penalties; and

WHEREAS, a public nuisance has been declared upon the property of 6 Monrovia St. and attempts to bring the property into voluntary compliance have been futile; and

WHEREAS, on June 25, 2024 the Susanville Planning Commission granted the property owner a 30 day continuance to bring the property into compliance; and

WHEREAS, the condition of real property remains a public nuisance and in violation of nuisance abatement order NA2023-005; and

WHEREAS, the assessment of civil penalties relating to a nuisance abatement order does not involve any commitment to any specific project which may result in a potentially significant physical impact on the environment and is not a project under the California Environmental Quality Act (CEQA) pursuant to section 15378 of the CEQA Guidelines.

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1. One hundred dollars (\$100.00) for each day the public nuisance existed on property located at 6 Monrovia St. (APN: 107-156-009-000)
2. Effective date of the assessment of administrative penalties shall be June 26, 2023.

BE IT FURTHER RESOLVED that the Planning Commission hereby orders the maximum administrative civil penalty in the amount of ten thousand dollars (\$10,000.00) for 365 total days of noncompliance with nuisance abatement order NA2023-005 and orders the payment of said administrative penalty due by September 3, 2024, by 4:30p.m.

APPROVED: _____
James Merchant,
Chairperson Planning Commission

ATTEST: _____
Heidi Whitlock, City Clerk
Secretary to the Planning Commission

The foregoing Resolution No. 24-1177 was adopted at a regular meeting of the Planning Commission of the City of Susanville, held on the 13th day of August 2024, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Heidi Whitlock, City Clerk
Secretary to the Planning Commission





August 05, 2024 8:52 AM

AGENDA ITEM NO. 3.B
Public Hearing

SUSANVILLE PLANNING COMMISSION AGENDA ITEM

Submitted By: Michael Prettyman, Building & Planning Division

Action Date: August 13, 2024

SUBJECT: Consider Resolution No. 24-1179, approving the assessment of civil penalties against the property owner of 1005 North St. for APN 103-242-007-000, for non compliance with Nuisance Abatement Order NA 2023-004.

PRESENTED BY: Kelly Mumper and Mike Prettyman

SUMMARY: The Susanville Planning Commission approved the issuance of a Nuisance Abatement Order (NA2023-004) at a duly noticed public hearing on June 13, 2023 which ordered SNVESTATES, LLC., to abate nuisance conditions at 1005 North St. (APN 103-242-007-000). The following code violations were observed and not rectified throughout the abatement order period: 8.32.050 (a)(2) SMC; 8.32.050 (a)(2) SMC; 8.32.050 (c)(2) SMC; 8.32.050 (c)(4) SMC; 8.32.050 (e)(5) SMC; 8.32.050 (e)(5) SMC; 8.52.030 (a)(3) SMC; 8.52.030 (e)(1) SMC

FISCAL IMPACT: Increase to the Code Enforcement abatement fund in the amount of \$10,000, plus any accrued interest, once the cost report and lien hearing is finalized through City Council at a future meeting.

ACTION REQUESTED: Motion to approve Resolution No. 24-1179, approving the assessment of civil penalties against the property owner of 1005 North St. for APN 103-242-007-000, for non compliance with Nuisance Abatement Order NA 2023-004.

ATTACHMENTS:
[24-6-11 North Signed Notice of Hearing \(owner\).pdf](#)
[20240619_080441.jpg](#)
[20240619_080627.jpg](#)
[20240619_080630.jpg](#)
[20240619_080707.jpg](#)
[20240619_080722.jpg](#)
[20240619_080726.jpg](#)
[1005 North Street Nuisance Abatement Order \(Resolution NO. 23-1149\).pdf](#)
[Nuisance Abatement Order After Hearing NA2023-004 1005 North Street.doc](#)
[24-7-15 Notice of Hearing 2.pdf](#)

20240729_084726.jpg
20240729_084716.jpg
20240729_084718.jpg
20240729_084721.jpg
Resolution_NO._24-1179__1_ (6).doc



City of Susanville

(530) 252-5100 • 66 North Lassen Street • Susanville, CA 96130-3904

NOTICE OF PUBLIC HEARING

(Susanville Municipal Code § 8.32.120)

June 11, 2024

Svnestates LLC
6754 Bernal Ave. Suite 740-278
Pleasanton, CA 94566

RE: 1005 North St.
Susanville, CA 96130
Code Enforcement Case # CE2022-040

Dear Svnestates LLC:

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Susanville will conduct a Public Hearing pursuant to Susanville Municipal Code Chapter 8.32 to solicit comments regarding the issuance of administrative penalties related to the current nuisance abatement order associated with the subject property.

The Public Hearing will be held on Thursday June 25, 2024, at 5:30 P.M. (or as soon thereafter as the agenda permits) in the Susanville City Council Chambers located at 66 North Lassen Street, Susanville, California. The public is invited to attend and provide oral and/or written comments. Written comments must be received prior to 4:00 P.M. Friday June 21, 2024, for Planning Commission review.

If you have any questions or concerns regarding this notice, you may contact the Building and Planning Division at (530) 252-5118.

Respectfully,

Michael Rrettyman
Code Enforcement Officer

Mendy Schuster
Mayor
Russ Brown
Mayor pro tem

Councilmembers:
Curtis Bortle
Dawn Miller
Patrick Parrish













RESOLUTION NO. 23-1149

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SUSANVILLE
APPROVING THE ISSUANCE OF A NUISANCE ABATEMENT ORDER NA2023-004 AND
ORDERING THE PROPERTY OWNER OF 1005 NORTH STREET TO ABATE NUISANCE
CONDITIONS**

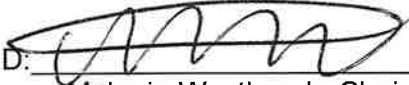
WHEREAS, California Government Code Sections 36901, 38771, and 38773.5(a) authorizes the City of Susanville to enact ordinances declaring what constitutes a nuisance, the procedures for abating nuisance conditions, providing for the recovery of costs and attorney fees to abate the nuisance, and providing for the collection of civil penalties; and

WHEREAS, the Susanville City Council adopted Ordinance 17-1011 that declares conditions of real property that constitute a public nuisance and provides for the abatement of said nuisance conditions; and

WHEREAS, a public nuisance has been declared upon the property of 1005 North Street and attempts to bring the property into voluntary compliance have been futile; and

WHEREAS, the City of Susanville intend to have the property abated to remove the nuisance conditions and therefore invoke Chapter 8.32 of the Susanville Municipal Code and request the Susanville Planning Commission issue a nuisance abatement order to compel the property owners to abate and remove nuisance conditions or the city of Susanville shall be authorized to perform the necessary abatement work.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Susanville hereby approves the issuance of a Nuisance Abatement Order NA2023-004 and orders SNVESTATES, LLC landowners of 1005 North Street (APN 103-242-007-000), to abate nuisance conditions.

APPROVED: 

Melanie Westbrook, Chairperson

ATTEST: 

Heidi Whitlock, City Clerk

The foregoing resolution was adopted at a regular meeting of the Planning Commission of the City of Susanville, held on the 13th day of June 2023, by the following vote:

AYES: Jambois, DeBoer, Ardito, Merchant and Westbrook

NOES: None

ABSENT: None

ABSTAIN: None


Heidi Whitlock, City Clerk

1 Margret E. Long SBN: 227176
2 City Attorney for City of Susanville
3 66 North Lassen Street
4 Susanville, CA 96130
5 Phone: 530-252-5100
6 attorney@cityofsusanville.org

7 Attorney for: Petitioner/City of Susanville

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PLANNING COMMISSION
CITY OF SUSANVILLE

City of Susanville,	Petitioner
v	
SNVESTATES, LLC	Respondent

Nuisance Abatement Order
NA2023-004

Hearing: June 13, 2023, at 5:30 p.m. in
Council Chambers
66 North Lassen Street
Susanville, CA 96130

1. This proceeding was heard:

- a. On June 13, 2023, at 5:30 pm in the Council Chambers at 66 North Lassen Street, Susanville, CA 96130.
- b. By the Planning Commission of the City of Susanville (also referred to as the Hearing Board or the Board) with the following commissioners of the Planning Commission present: Melanie Westbrook, James Merchant, Rod DeBoer, Wayne Jambois, and Tony Ardito.
- c. Melanie Westbrook presided over the procedure as Chairperson.
- d. This matter was set on a "Notice of Intention to Abate Public Nuisance & Notice of Public Hearing" dated May 5, 2023, and served on Respondent, SNVESTATES, LLC, by Certified Mail on May 5, 2023, and posted on the structure at 1005 North Street on May 5, 2023.
- e. Present at the hearing where:

- i. Cody Loflin, Code Enforcement Officer II, Kelly Mumper, City Planner, Ruth McElrath, Permit Technician / Secretary of the Planning Commission, Jolene Arredondo, Assistant to the City Administrator, Erik Edholm, Assistant Director of Public Works, and Robert Godman, Director of Public Works representing the City of Susanville and
- ii. Jack Ward representing the Respondent.

FINDINGS

The Hearing Board makes the following findings.

1. Pursuant to City of Susanville Municipal Code chapter 8.32.040, "No person may maintain or use property or allow their property to be maintained or used in a manner that creates or fosters the creation of a public nuisance."
2. SNVESTATES, LLC owns the residential property and are the responsible parties for the property located at 1005 North Street.
3. SNVESTATES, LLC was properly served with a Notice of Violation on March 23, 2023 with service pursuant to City of Susanville Municipal Code section 8.32.060.
4. SNVESTATES, LLC was properly served with a Notice of Intention to Abate Public Nuisance and Notice of Public Hearing on May 5, 2023, and that said notice was properly posted at 1005 North Street on May 5, 2023, pursuant to City of Susanville Municipal Code section 8.32.090.
5. The condition of the property located at 1005 North Street is a public nuisance as defined by City of Susanville Municipal Code section 8.32.050.

Orders

The Hearing Board orders the following.

1. SNVESTATES, LLC must abate the public nuisance at 1005 North Street by doing the following at 1005 North Street:
 - a. Uniform Housing Code Violations:
 - i. All items listed within this notice shall be complied with as the State of California has set the minimum housing standards for all people of this

1 State. An inspection is required to verify the reasonable suspicion of the
2 lack of these items. Please contact Code Enforcement staff to set up a
3 reasonable time to inspect. If I do not hear back from you by the end of the
4 compliance deadline, I will assume that consent has not been granted. An
5 inspection warrant pursuant to California Code of Civil Procedures 1822.50
6 – 1822.60 shall be sought from the Lassen County Superior Court.

- 7 ii. The building shall have the required utilities accessible to the building
8 (electrical, water, sewer).
- 9 iii. The building shall have access to hot and cold running water.
- 10 iv. The building shall have adequate heating for all units.
- 11 v. The building shall have adequate access to a kitchen sink, toilet, shower or
12 bath.
- 13 vi. All other building code violations shall be remedied and shall have all.

14 b. Public Nuisances:

- 15 i. Clear all visible junk, trash, debris, household items, furniture, appliances,
16 branches and limbs and car parts from public view.
- 17 ii. All vehicles on property must be licensed and in an operable state and
18 stored properly. Operable state as defined in the California Vehicle Code.
- 19 iii. All car parts to be removed from view.
- 20 iv. All over-height fences shall be lowered to 6' or a conditional use permit
21 shall be obtained.
- 22 v. Electrical alterations in the side/rear yard shall be brought up to code.
- 23 vi. All outbuildings shall be brought to code or a permit shall be obtained.

24 c. Zoning:

- 25 i. Remove all junk from the property.

- 26 2. SNVESTATES, LLC must fully abate and remove conditions contributing to the
27 declaration of a public nuisance no later than Monday June 26, 2023 by 8:00 a.m.
28

- 1 3. SNVESTATES, LLC must obtain any and all required permits that may be required to
2 abate public nuisance at 1005 North Street.
- 3 4. After SNVESTATES, LLC abates the nuisance at 1005 North Street, SNVESTATES, LLC
4 must contact the Building and Planning Department at the City of Susanville and request
5 that an official at the City of Susanville inspect the condition of the property and buildings
6 at 1005 North Street to determine if the public nuisance was abated.
- 7 5. If SNVESTATES, LLC does not abate the public nuisance at 1005 North Street by 8:00 a.m.
8 on June 26, 2023, the City of Susanville may have the property at 1005 North Street abated.
- 9 6. If SNVESTATES, LLC does not abate the public nuisance at 1005 North Street by 8:00 a.m.
10 on June 26, 2023, the Susanville Planning Commission orders an administrative penalty
11 pursuant to section 8.32.290 of the City of Susanville Municipal Code shall be assessed as
12 followed:
 - 13 a. Assessment of \$500.00 per day until the nuisance abatement order has been
14 complied with.
 - 15 b. Effective from June 26, 2023.
 - 16 c. The maximum administrative penalty shall be \$10,000, exclusive of administrative
17 costs and interest.
- 18 7. All costs of the City's abatement efforts, including the abatement work and administrative
19 time to investigate and to hear and effect the abatement shall be charged against
20 SNVESTATES, LLC as a personal debt or may be assessed upon 1005 North Street and will
21 constitute a lien or special assessment upon the property until paid.
- 22 8. This Order shall be effective for one year after issuance. During such period, the hearing
23 board shall retain jurisdiction over the conditions of the building, structure or property
24 which constituted the nuisance established by this Order, as well as the abatement
25 thereof, to ensure that the nuisance does not reoccur and that the building, structure, or
26 property is maintained in such a manner so as not to create a nuisance. If, during this one-
27 year period, any enforcement official determines that the same or another nuisance, as
28 defined by this chapter exists with respect to the building, structure or property, he or she

1 may give notice to abate the nuisance as provided for in section 8.32.060 of the City of
2 Susanville Municipal Code. If SNVESTATES, LLC does not abate the nuisance at any time
3 within the abatement period, the City may proceed with the abatement itself under the
4 provisions of section 8.32.190 of the City of Susanville Municipal Code without further
5 action of the hearing board. The City of Susanville may also recover all of its abatement
6 effort costs as provided for in the City of Susanville Municipal Code.

7 **Appeal**

8 Whenever any person is aggrieved by this final order of the Hearing Board, this person may appeal
9 the Nuisance Abatement Order to the City Council of the City of Susanville. To request an
10 appeal, the person aggrieved by this order shall notify the City Clerk, in writing, within twenty-
11 one (21) days of the issuance of this order of their request to have this appeal heard by the City
12 Council. The aggrieved person shall deposit two hundred dollars (\$200.00) to the City of
13 Susanville. The appellant shall be responsible for all costs of such appeal which exceeds the
14 deposited amount. If the aggrieved person requests an appeal hearing, this hearing shall be
15 granted within forty-five (45) days of the filing appeal at a regularly scheduled meeting of the
16 Susanville City Council. The appellant shall be notified no less than ten (10) days of the
17 scheduled appeal hearing.

18
19 The foregoing order was adopted at a regular meeting of the Planning Commission of the city of
20 Susanville, held on the 13th day of June 2023.

21
22 Dated: _____

23 _____
24 Melanie Westbrook

25 Susanville Planning Commission
26
27
28



City of Susanville

(530) 252-5100 • 66 North Lassen Street • Susanville, CA 96130-3904

NOTICE OF PUBLIC HEARING

July 15, 2024

Stan Velu
4709 Iron Bird Dr.
Folsom, CA 95630

RE: 1005 North St.
Susanville, CA 96130
Code Enforcement Case # CE2022-040

Dear Synestates LLC:

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Susanville will conduct a Public Hearing pursuant to Susanville Municipal Code Chapter 8.32 to solicit comments regarding the issuance of administrative penalties related to the current nuisance abatement order associated with the subject property.

The Public Hearing will be held on Tuesday August 13, 2024, at 5:30 P.M. (or as soon thereafter as the agenda permits) in the Susanville City Council Chambers located at 66 North Lassen Street, Susanville, California. The public is invited to attend and provide oral and/or written comments. Written comments must be received prior to 4:00 P.M. Friday August 9, 2024, for Planning Commission review.

If you have any questions or concerns regarding this notice, you may contact the Building and Planning Division at (530) 252-5118.

Respectfully,

Michael Prettyman
Code Enforcement Officer

Mendy Schuster
Mayor
Russ Brown
Mayor pro tem

Councilmembers:
Curtis Bortle
Dawn Miller
Patrick Parrish









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1. Five hundred dollars (\$500.00) for each day the public nuisance existed on property located at 1005 North St. which have accrued to the allowed maximum unther the SMC in the amount of \$10,000.00 (APN: 103-242-007-000)
2. Effective date of the assessment of administrative penalties shall be June 26, 2023.

BE IT FURTHER RESOLVED that the Planning Commission hereby orders the administrative civil penalty in the amount of ten thousand dollars (\$10,000.00) for 365 total days of noncompliance with nuisance abatement order NA2023-004 and orders the payment of said administrative penalty due by September 3, 2024 by 4:30p.m.

APPROVED: _____
James Merchant,
Chairperson Planning Commission

ATTEST: _____
Heidi Whitlock, City Clerk
Secretary to the Planning Commission

The foregoing Resolution No. 24-1179 was adopted at a regular meeting of the Planning Commission of the City of Susanville, held on the 13th day of August 2024, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Heidi Whitlock, City Clerk
Secretary to the Planning Commission

SUSANVILLE PLANNING COMMISSION AGENDA ITEM

Submitted By: Kelly Mumper, Building & Planning Division

Action Date: August 13, 2024

SUBJECT: Consider approval of Resolution No. 24-1181, considering an amendment to the approved conditions of Use Permit #2023-009, to allow the addition of an 8ft. security fence.

PRESENTED BY: Kelly Mumper, City Planner

SUMMARY:

The City of Susanville Planning Commission will be holding a public hearing to allow public comment on Use Permit #2023-009 (Amendment to Conditions of Approval), for the Bureau of Land Management.

The applicant has previously been approved for a 34x38 warehouse building for vehicle fleet maintenance and 10 space parking lot. The applicant is requesting an amendment to the approved Use Permit to allow an 8 ft. security fence. The subject parcel has been assigned an address of 265 Grove Street, Susanville CA, 96130 and has an assigned assessor's parcel number of 105-350-035-000. The subject property is zoned C-2 (General Commercial Shopping Center District) and has a land use designation of "*General Commercial/Shopping Center*" pursuant to the *City of Susanville General Plan 1990-2010*. The subject property is approximately .49 acres with primary access proposed on Grove Street. The proposed use is allowed by first securing a Use Permit through the City of Susanville Planning Commission pursuant to the City of Susanville Municipal Code Chapter 17.36.030. The proposed use qualifies for a Categorical Exemption from the California Environmental Quality Act (CEQA) pursuant to Section 15332 of the CEQA Guidelines.

FISCAL IMPACT: None.

ACTION REQUESTED: Approve Resolution No. 24-1181, considering an amendment to the approved conditions of Use Permit #2023-009, to allow the addition of an 8ft. security fence.

ATTACHMENTS:

[Disapproving Resolution.doc](#)

[Public Hearing Notice Amend UP#2023-009.docx](#)

[Public Hearing Notice to Property Owners UP#2023-009.docx](#)

[BLM Warehouse Use Permit SR_Amendment.docx](#)

[Site Plan Reduced Size.pdf](#)

[Approving_Resolution_No._24-1181 \(1\).doc](#)

RESOLUTION NO. 24-1181
A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SUSANVILLE
DISAPPROVING THE AMENDMENT TO RESOLUTION NO. 24-1170 AND USE PERMIT
APPLICATION #23-009 TO ALLOW AN 8FT. SECURITY FENCE ON APN 105-350-035-000
(265 GROVE STREET)

WHEREAS, Kirack Construction is requesting an Amendment to the approved Use Permit to allow an 8ft. security fence in addition to the previously approved fleet maintenance shop/warehouse for the bureau of land management on APN 105-350-035-000 (265 grove street); and

WHEREAS, the Susanville Planning Commission at a public hearing held during its regular meeting on August 13, 2024, considered both written and oral comments presented concerning the proposed project as required by City Code Section 17.112.20 E and;

WHEREAS, property owners were notified in a 300 ft. radius of the proposed project site and a legal publication was published via the Modoc Record stating the project description on August 1, 2024, and;

WHEREAS, the City of Susanville Planning Division has determined that projects that are disapproved are Categorically Exempt under Article 19, Section 15270, of the CEQA guidelines.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission:

A) Makes the following findings:

1. That the proposed project is not consistent with the General Plan and the Zoning Ordinance.
2. That the establishment, maintenance, or operation of the subject use, building or facilities applied for will, under the circumstances of the particular use, be detrimental to or contrary to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of the proposed use and will be injurious or detrimental to property or improvements in the neighborhood or the general welfare of the city.
3. The Amendment to Use Permit application #2023-009, is hereby Disapproved.
4. All conditions of approval outlined by Resolution No. 24-1170 are to remain in full.

APPROVED: _____
James Merchant, Chairperson
Planning Commission
City of Susanville, State of California

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ATTEST: _____
Heidi Whitlock, City Clerk
Secretary to the Planning Commission

The foregoing resolution was introduced and adopted at a regular meeting of the Planning Commission of the City of Susanville, held on the 13th day of August 2024, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Heidi Whitlock, City Clerk
Secretary to the Planning Commission

NOTICE OF PUBLIC HEARING

The City of Susanville Planning Commission will be holding a public hearing to allow public comment on Use Permit #2023-009 (Amendment to Conditions of Approval), for the Bureau of Land Management.

The applicant has previously been approved for a 34x38 warehouse building for vehicle fleet maintenance and 10 space parking lot. The applicant is requesting an amendment to the approved Use Permit to allow an 8 ft. security fence. The subject parcel has been assigned an address of 265 Grove Street, Susanville CA, 96130 and has an assigned assessor's parcel number of 105-350-035-000. The subject property is zoned C-2 (General Commercial Shopping Center District) and has a land use designation of "*General Commercial/Shopping Center*" pursuant to the *City of Susanville General Plan 1990-2010*. The subject property is approximately .49 acres with primary access proposed on Grove Street. The proposed use is allowed by first securing a Use Permit through the City of Susanville Planning Commission pursuant to the City of Susanville Municipal Code Chapter 17.36.030. The proposed use qualifies for a Categorical Exemption from the California Environmental Quality Act (CEQA) pursuant to Section 15332 of the CEQA Guidelines.

This project is scheduled to have a public hearing by the Planning Commission at 5:30 p.m. on August 13, 2024, in the City of Susanville City Council Chambers located at 66 N. Lassen Street Susanville, CA 96130. The public is invited to attend and provide verbal and/or written comments on the proposed project. Written comments must be received at the above address at, or prior to, the meeting date and time. Note: Any appeals on the proposal must be based on comments made known (either through written or verbal comments) at the public hearing. Appellants must also be represented at the public hearing for an appeal to be accepted by the City Council. "If you challenge the City's action on this proposal in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City at, or prior to, the public hearing." Govt. Code 65009. Any questions regarding this or the proposal may be directed to the City Planner, Kelly Mumper at (530) 252-5104.

BY: Kelly Mumper, City Planner
FOR: City of Susanville, Planning Commission

**PROPERTY OWNER NOTIFICATION 300 FT. RADIUS
NOTICE OF PUBLIC HEARING**

The City of Susanville Planning Commission will be holding a public hearing to allow public comment on Use Permit #2023-009(Amendment to Conditions of Approval), for the Bureau of Land Management. The City of Susanville is required by state law to facilitate Use Permits and or Land Use Entitlements initiated by private landowners for specific projects on privately owned lands. The City of Susanville does not approach and or initiate these types of applications with private landowners. City staff and the Planning Commission's role is to evaluate the application as it pertains to the associated zoning district and formulate findings of consistency or inconsistencies when determining a project's potential for approval. The City of Susanville strives to evaluate these proposals thoroughly in order to preserve the public health, safety, and welfare of the overall community.

The applicant has previously been approved for a 34x38 warehouse building for vehicle fleet maintenance and 10 space parking lot. The applicant is requesting an amendment to the approved Use Permit to allow an 8 ft. security fence. The subject parcel has been assigned an address of 265 Grove Street, Susanville CA, 96130 and has an assigned assessor's parcel number of 105-350-035-000. The subject property is zoned C-2 (General Commercial Shopping Center District) and has a land use designation of "*General Commercial/Shopping Center*" pursuant to the *City of Susanville General Plan 1990-2010*. The subject property is approximately .49 acres with primary access proposed on Grove Street. The proposed use is allowed by first securing a Use Permit through the City of Susanville Planning Commission pursuant to the City of Susanville Municipal Code Chapter 17.36.030. The proposed use qualifies for a Categorical Exemption from the California Environmental Quality Act (CEQA) pursuant to Section 15332 of the CEQA Guidelines.

This project is scheduled to have a public hearing by the Planning Commission at 5:30 p.m. on August 13, 2024, in the City of Susanville City Council Chambers located at 66 N. Lassen Street Susanville, CA 96130. The public is invited to attend and provide verbal and/or written comments on the proposed project. Written comments must be received at the above address at, or prior to, the meeting date and time. Note: Any appeals on the proposal must be based on comments made known (either through written or verbal comments) at the public hearing. Appellants must also be represented at the public hearing for an appeal to be accepted by the City Council. "If you challenge the City's action on this proposal in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City at, or prior to, the public hearing." Govt. Code 65009. Any questions regarding this or the proposal may be directed to the City Planner, Kelly Mumper at (530) 252-5104.

BY: Kelly Mumper, City Planner
FOR: City of Susanville, Planning Commission

**FILE NO. 23-009(Amendment to Conditions) Bureau of Land Management
Fleet Maintenance Warehouse**

**CITY OF SUSANVILLE PLANNING COMMISSION
STAFF FINDINGS
August 13, 2024**

APPLICANT	Bureau of Land Management (BLM)
OWNER	Kirack Construction
REPRESENTATIVE	Kirack Construction
REQUEST	Amend approved Use Permit to allow 8ft. Security Fence for parking area.
ASSESSOR'S PARCEL NO.	105-350-035-000
PARCEL SIZE	.49 Acres
LOCATION	265 Grove St. Susanville, CA 96130
EXISTING ZONING	C-2 (General Commercial/Shopping Center District)
SURROUNDING ZONING	North: C-2 (General Commercial/Shopping Center) South: C-2 (General Commercial/Shopping Center) East: C-2 (General Commercial/Shopping Center) West: Lassen County Jurisdiction
SURROUNDING LAND USE	C-2 (General Commercial/Shopping Center)
GENERAL PLAN DESIGNATION	<i>General Commercial/Shopping Center</i>
ENVIRONMENTAL DETERMINATION	The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to section 15303.

COMMENTS RECEIVED BY CITY DEPARTMENTS & AFFILIATED AGENCIES:

- 1. Building Department:** Project shall comply with Title 24 of the California Building Code.
- 2. Fire Department:** Project shall comply with Title 24 and a Knox Box for Fire Department emergency access shall be installed.
- 3. Police Department:** Adequate addressing per the Postmaster and City Planner standards.
- 4. Public Works Department:** Curb gutter and sidewalk shall be installed per the Susanville Municipal Code.

5. **Susanville Sanitary District:** No Comments.
6. **Lassen Municipal Utility District:** No new comments. The proposed building has adequate clearance from any existing LMUD facility. Project materials were distributed to LMUD via email on December 5, 2023.
7. **Caltrans District 2:** No comments, not applicable due to area jurisdiction.

BACKGROUND/PARCEL HISTORY:

The subject parcel has been undeveloped for multiple decades and at one time was zoned C-M (Commercial/Light Industrial Zoning District). The proposed use would be potentially allowed under either the C-2 or C-M zoning district.

ANALYSIS:

The applicant is approved for a 34x38 (1,292 square feet) warehouse building and 10 space parking lot on a vacant parcel. The applicants are requesting an amendment to the approved Use Permit to allow an 8ft. security fence. The subject parcel has been assigned an address of 265 Grove Street, Susanville CA, 96130 and has an assigned assessor's parcel number of 105-350-035-000. The subject property is zoned C-2 (General Commercial Shopping Center District) and has a land use designation of "*General Commercial/Shopping Center*" pursuant to the *City of Susanville General Plan 1990-2010*. The subject property is approximately .49 acres with primary access proposed on Grove Street. The proposed use is allowed by first securing a Use Permit through the City of Susanville Planning Commission pursuant to the City of Susanville Municipal Code Chapter 17.36.030.

MUNICIPAL CODE FINDINGS:

The proposed use is allowed by first securing a Use Permit through the City of Susanville Planning Commission pursuant to the City of Susanville Municipal Code Chapter 17.36.030.

GENERAL PLAN FINDINGS:

The proposed use is allowed by first securing a Use Permit through the City of Susanville Planning Commission pursuant to the City of Susanville Municipal Code Chapter 17.36.030 and if approved, would be consistent with the underlying General Plan Land use Designation of *General Commercial/Shopping Center*.

The City of Susanville General Plan 1990-2010 POLICY 2.6 states the following:

Large-scale commercial and industrial development proposals shall be reviewed to determine housing-related impacts. However, due to the **small scale** of the proposed use, a further analysis of housing related impacts is **not required**.

PARKING:

The proposed project shall have at least one parking space for each 1,000 square feet of manufacturing or warehousing area, or per employee, whichever is greater, plus one parking space for each 300 square feet of office area. The proposed building is approximately 1,292 square feet and therefore at least 1 parking space shall be required pursuant to the Susanville Municipal Code Chapter 17.100.140, Off Street Parking

Standards for Industrial Uses.

The project proposes 10 parking spaces and therefore this project satisfies and exceeds the parking requirements in the Susanville Municipal Code.

LANDSCAPING:

A detailed landscaping plan shall be required to be submitted prior to building permit issuance. The landscaping requirements for the proposed project are outlined in the City of Susanville Municipal Code Chapter 17.96.40. Compliance with this chapter is required prior to the issuance of occupancy permit for the proposed building.

Landscaping Plan. All landscaping required by this section shall be installed and maintained in accordance with a landscaping plan. The plan shall be submitted to and approved by the City Planner prior to issuance of a building permit or use permit, and shall show the location, size and variety of all plants, water supply and other pertinent improvements. This plan may be combined with a parking plan. (Ord. 06-932 § 1, 2006; Ord. 00-866 § 2, 2000).

COMMUNITY CORRESPONDENCE:

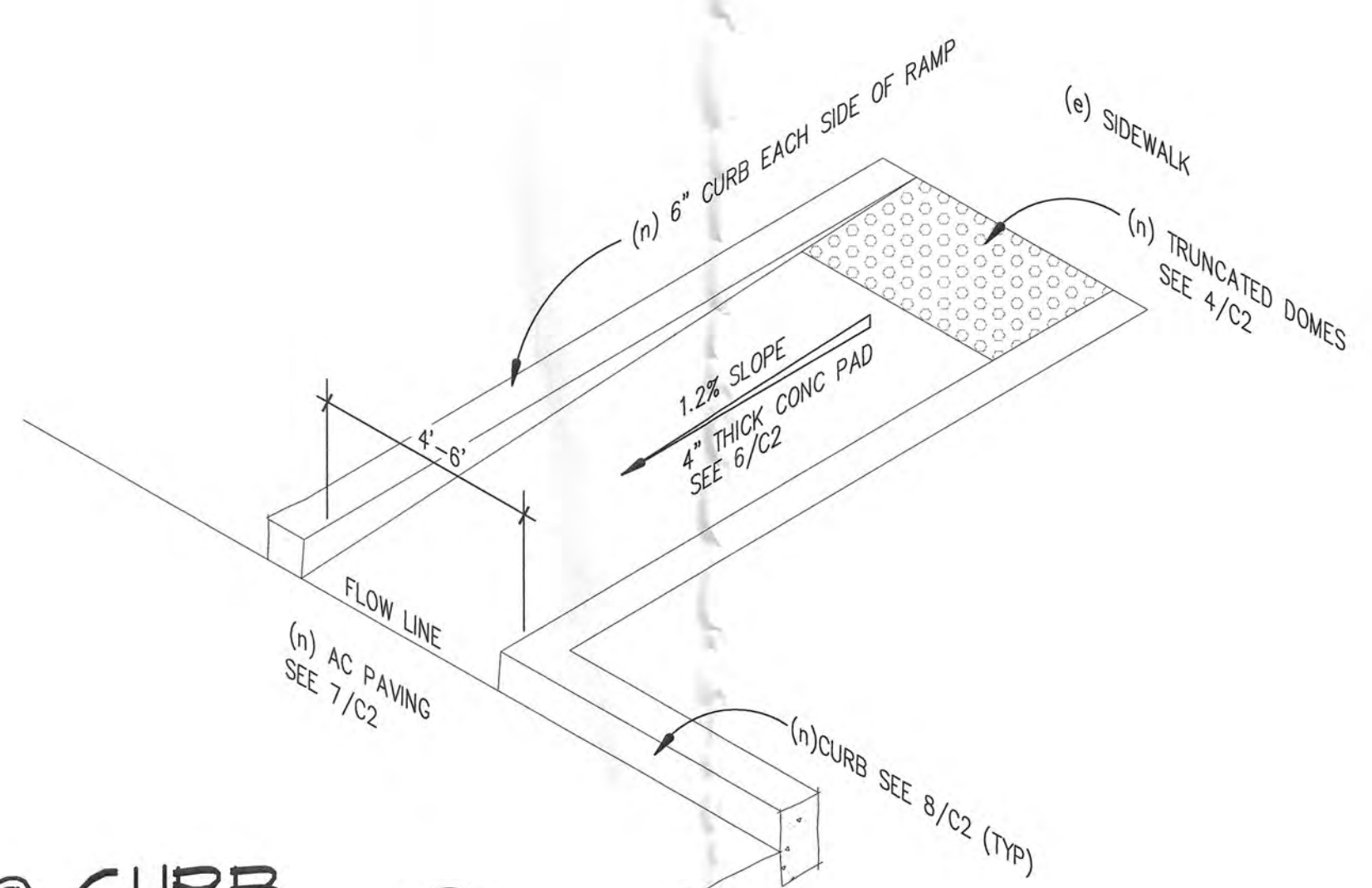
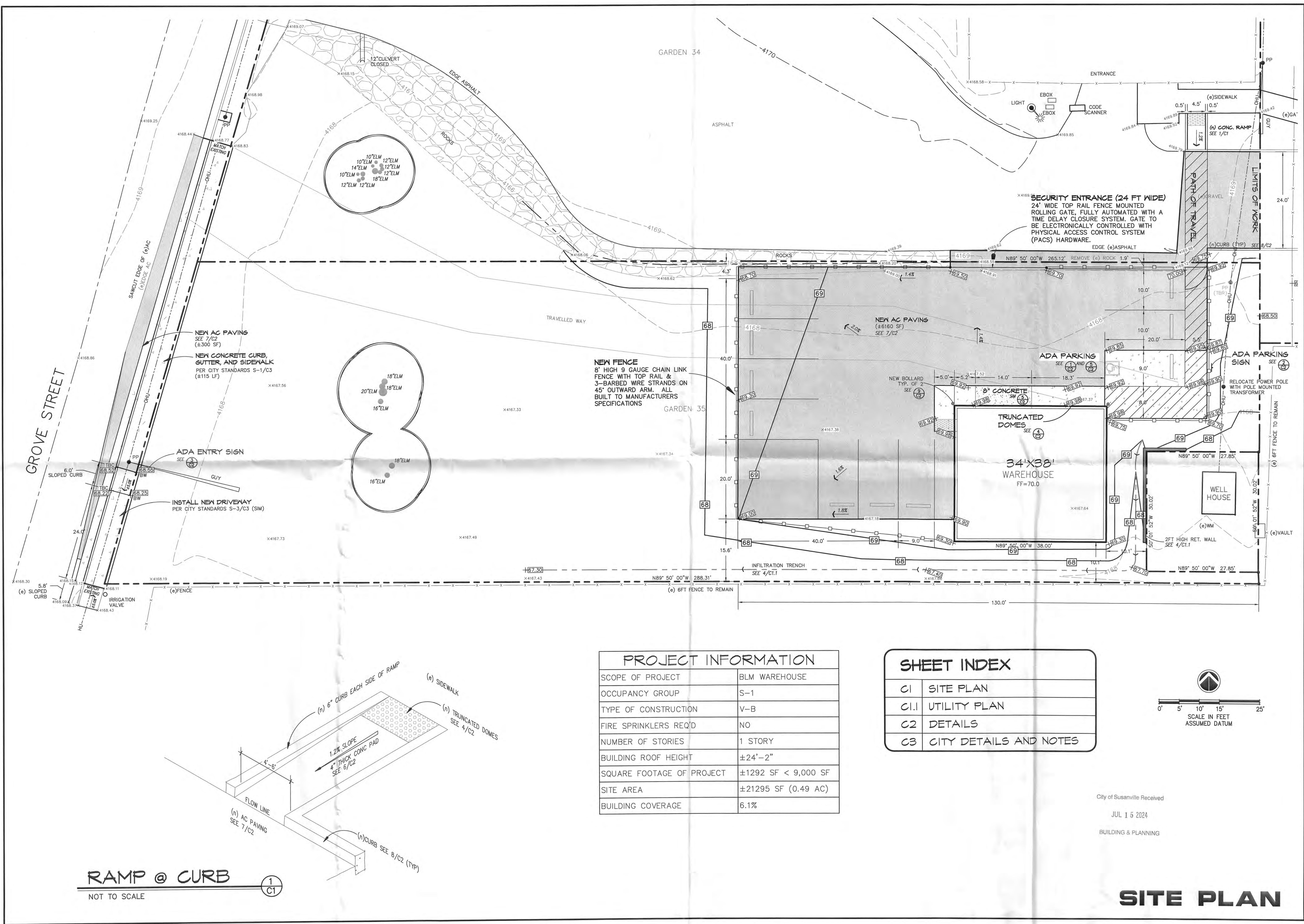
Property owners were notified within 300 feet of the proposed project and no comments were received in favor or against.

ENVIRONMENTAL REVIEW:

The City of Susanville City Planner/ Environmental Review Officer has determined that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to section 15303.

STAFF REPORT CONCLUSION:

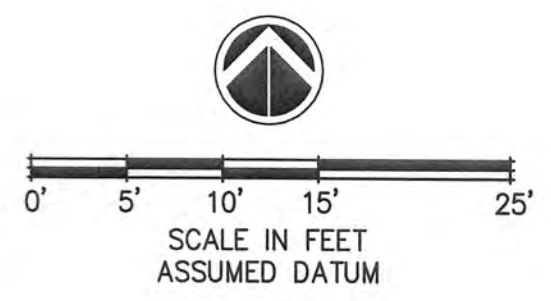
Based on staff findings of consistency within the *City of Susanville General Plan 1990-2010* and the Susanville Municipal Code Chapter 17.48.030(I), staff has prepared an approving and disapproving resolution for the Planning Commission's consideration.



RAMP @ CURB
NOT TO SCALE

PROJECT INFORMATION	
SCOPE OF PROJECT	BLM WAREHOUSE
OCCUPANCY GROUP	S-1
TYPE OF CONSTRUCTION	V-B
FIRE SPRINKLERS REQ'D	NO
NUMBER OF STORIES	1 STORY
BUILDING ROOF HEIGHT	±24'-2"
SQUARE FOOTAGE OF PROJECT	±1292 SF < 9,000 SF
SITE AREA	±21295 SF (0.49 AC)
BUILDING COVERAGE	6.1%

SHEET INDEX	
C1	SITE PLAN
C1.1	UTILITY PLAN
C2	DETAILS
C3	CITY DETAILS AND NOTES



City of Susanville Received
JUL 15 2024
BUILDING & PLANNING

Revisions:

1	5/1/24	GATE/DOOR REVISIONS
2	7/11/24	REVISE SECURITY FENCE

Project Title:
PROPOSED SITE PLAN FOR:
MICHAEL KIRACK CONSTRUCTION
265 GROVE STREET
SUSANVILLE, LASSEN COUNTY, CALIFORNIA
APN: 105-350-035

NST ENGINEERING, INC.
1445 Riverside Drive • Susanville, CA 96150
Engineering • Planning • Surveying
Phone: (530) 257-5175 Fax: (530) 257-6272

Date: 2/1/24
Drawn: JB
Checked: JM

Sheet No.
C1
Of 4 Sheets

Job No. 21-90A
File No. SITE

SITE PLAN

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1 **AREA/ SITE SPECIFIC CONDITIONS**

- 2 1. Compliance with the 2022 California Building Code, Title 24, for any future
3 proposed work requiring a building permit.
- 4 2. Prior to the occupancy of any building within the city and throughout the life of
5 the building, the owner of said building shall comply with the requirements of
6 this section:
- 7 A. All numbers shall be assigned by the city, shall be legible, shall be placed in an
8 approved location and shall be easily viewed from the public entrance to the property.
- 9 B. All numbers shall be maintained for the life of the use.
- 10 C. All new numbers shall be internally illuminated, with a contrasting background,
11 four-inch minimum height and one-half-inch minimum stroke width. (Ord. 13-994 § 1,
12 2013).
- 13 3. Adequate addressing of the business location shall comply with Chapter 15.08.010.
- 14 4. Install curb, gutter, sidewalk, and driveway pursuant to the Susanville Municipal Code
15 Chapter 12.20 standards, but due to jurisdictional boundaries an encroachment permit
16 from Lassen County Public Works may be required.
- 17 5. All landscaping required by this section shall be installed and maintained in accordance
18 with a landscaping plan. The plan shall be submitted to and approved by the City
19 Planner prior to issuance of a building permit or use permit, and shall show the
20 location, size and variety of all plants, water supply and other pertinent improvements.
21 This plan may be combined with a parking plan. (Ord. 06-932 § 1, 2006; Ord. 00-866 §
22 2, 2000).

23 **GENERAL**

- 24 1. This permit will become null and void if the approved use has not begun within one year
25 from the date of adoption of this resolution unless an extension of the life of the permit is
26 approved by the Planning Commission. It is the applicant's responsibility to request an
27 extension within a reasonable time frame, if needed.
- 28 2. Approval of this Use Permit is contingent upon the establishment, maintenance, and
 operation of the subject use not being detrimental or contrary to the health, safety,
 peace, morals, comfort, and general welfare of persons residing or working in the
 neighborhood of the proposed use.
3. Any modifications to the submitted Use Permit proposal after approval by the
 Planning Commission shall require a new application or a modification to conditions
 of approval application.
4. Compliance with Chapter 17.48 et seq. shall be required.

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5. Compliance with the California Fire Code and a knock box for emergency access shall be required.

APPROVED: _____
James Merchant, Chairperson
Planning Commission
City of Susanville, State of California

ATTEST: _____
Heidi Whitlock, City Clerk
Secretary to the Planning Commission

The foregoing resolution was introduced and adopted at a regular meeting of the Planning Commission of the City of Susanville, held on the 13th day of August 2024, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Heidi Whitlock, City Clerk
Secretary to the Planning Commission

SUSANVILLE PLANNING COMMISSION AGENDA ITEM

Submitted By: Kelly Mumper, Building & Planning Division

Action Date: August 13, 2024

SUBJECT: Consider Resolution No. 24-1182. **USE PERMIT/ARCHITECTURAL REVIEW #2024-010**, Susanville Indian Rancheria Housing Authority (SIRHA). The applicant is proposing (one) two story four plex multi-family housing project located at 300 Alexander Avenue (APN #107-083-002-000)

PRESENTED BY: Kelly Mumper, City Planner

SUMMARY: **USE PERMIT/ARCHITECTURAL REVIEW #2024-010**, Susanville Indian Rancheria Housing Authority (SIRHA). The applicant is proposing one two story four plex multi-family housing project located at 300 Alexander Avenue (APN #107-083-002-000) in a C-1 (Neighborhood Commercial Zoning District). The project proposes wood framed construction with stucco and wood plank siding. The housing project would consist of four three bedroom, two bath units with one unit being ADA accessible. Multi-family housing is allowed in a C-1 District by first securing a Use Permit through the City of Susanville Planning Commission pursuant to Chapter 17.32.030(J). The subject parcel has a Land Use Designation of *Local/Neighborhood* pursuant to the *City of Susanville General Plan 1990-2010*. The subject parcel is approximately 16,825 square feet in size and is currently vacant of any land uses. The proposed project qualifies for a California Environmental Quality Act (CEQA) exemption pursuant to section 15303 of the CEQA Guidelines which exempts housing projects of four or less units. Staff Contact: Kelly Mumper, City Planner. (530)252-5104 kmumper@cityofsusanville.org

FISCAL IMPACT: None.

ACTION REQUESTED: Approve Resolution No. 24-1182, approving **USE PERMIT/ARCHITECTURAL REVIEW #2024-010** for Susanville Indian Rancheria Housing Authority (SIRHA) to allow (one) two story four plex multi-family housing project located at 300 Alexander Avenue (APN #107-083-002-000)

ATTACHMENTS:

Public Hearing Notice AR#2024-010.docx
Public Hearing Notice to Property Owners UP#2024-010.docx
Project Review & Consult Distribution Form.doc
300 Alexander Site Plan.pdf
300 Alexander Floor Plans-Elevations-Reduced Size.pdf
Multifamily Fourplex PCSR.docx
Disapproving Resolution.doc
Approving Resolution No. 24-1182.doc

NOTICE OF PUBLIC HEARING

The City of Susanville Planning Commission will be holding a public hearing to allow public comment on Architectural Review/Use Permit #2024-010 for the Susanville Indian Rancheria Housing Authority.

The applicant is proposing one two story four plex multi-family housing project located at 300 Alexander Avenue (APN #107-083-002-000) in a C-1 (Neighborhood Commercial Zoning District). The project proposes wood framed construction with stucco and wood plank siding. The housing project would consist of four three bedroom, two bath units with one unit being ADA accessible. Multi-family housing is allowed in a C-1 District by first securing a Use Permit through the City of Susanville Planning Commission pursuant to Chapter 17.32.030(J). The subject parcel has a Land Use Designation of *Local/Neighborhood* pursuant to the *City of Susanville General Plan 1990-2010*. The subject parcel is approximately 16,825 square feet in size and is currently vacant of any land uses. The proposed project qualifies for a California Environmental Quality Act (CEQA) exemption pursuant to section 15303 of the CEQA Guidelines which exempts housing projects of four or less units.

This project is scheduled to have a public hearing by the Planning Commission at 5:30 p.m. on August 13, 2024, in the City of Susanville City Council Chambers located at 66 N. Lassen Street Susanville, CA 96130. The public is invited to attend and provide verbal and/or written comments on the proposed project. Written comments must be received at the above address at, or prior to, the meeting date and time. Note: Any appeals on the proposal must be based on comments made known (either through written or verbal comments) at the public hearing. Appellants must also be represented at the public hearing for an appeal to be accepted by the City Council. "If you challenge the City's action on this proposal in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City at, or prior to, the public hearing." Govt. Code 65009. Any questions regarding this or the proposal may be directed to the City Planner, Kelly Mumper at (530) 252-5104.

BY: Kelly Mumper, City Planner

FOR: City of Susanville, Planning Commission

**PROPERTY OWNER NOTIFICATION 300 FT. RADIUS
NOTICE OF PUBLIC HEARING**

The City of Susanville Planning Commission will be holding a public hearing to allow public comment on Use Permit #2024-010 for the Susanville Indian Rancheria Housing Authority. The City of Susanville is required by state law to facilitate Use Permits and or Land Use Entitlements initiated by private landowners for specific projects on privately owned lands. The City of Susanville does not approach and or initiate these types of applications with private landowners. City staff and the Planning Commission's role is to evaluate the application as it pertains to the associated zoning district and formulate findings of consistency or inconsistencies when determining a project's potential for approval. The City of Susanville strives to evaluate these proposals thoroughly in order to preserve the public health, safety, and welfare of the overall community.

The applicant is proposing one two story four plex multi-family housing project located at 300 Alexander Avenue (APN #107-083-002-000) in a C-1 (Neighborhood Commercial Zoning District). The project proposes wood framed construction with stucco and wood plank siding. The housing project would consist of four three bedroom, two bath units with one unit being ADA accessible. Multi-family housing is allowed in a C-1 District by first securing a Use Permit through the City of Susanville Planning Commission pursuant to Chapter 17.32.030(J). The subject parcel has a Land Use Designation of *Local/Neighborhood* pursuant to the *City of Susanville General Plan 1990-2010*. The subject parcel is approximately 16,825 square feet in size and is currently vacant of any land uses. The proposed project qualifies for a California Environmental Quality Act (CEQA) exemption pursuant to section 15303 of the CEQA Guidelines which exempts housing projects of four or less units.

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BY: Kelly Mumper, City Planner
FOR: City of Susanville, Planning Commission

CITY OF SUSANVILLE
Project Review and Consultation
Project: **Use Permit/ Architectural Site Plan Review #2024-010**

DISTRIBUTION LIST: The City of Susanville is distributing this form on July 9, 2024, for project review and consultation to the agencies checked below:

STATE AND REGIONAL AGENCIES:

- | | | |
|---|--|--|
| ☐ Dept. of Fish and Game | ☐ Department of Water Resources | ☐ Bureau of Land Management |
| ☐ Lahontan RWQCB | ☐ Caltrans District 2 (Redding) | ☐ Office of Historic Preservation |

LOCAL AGENCIES:

- | | | |
|---|---|--|
| ☐ Office of Education | ☐ Lassen High School | ☐ Susanville School District |
| ☒ SSD (sewage disposal) | ☐ C & S Waste Solutions (garbage) | ☐ Frontier Communication (phone) |
| ☒ LMUD (electric utility) | ☐ Zito Media (cable tv) | ☐ Susanville Rancheria |
| ☐ Lassen County Planning | ☐ Lassen County Administration | ☐ Lassen County Health Department |
| ☐ U.S. Postmaster | ☒ Lassen Co. Transportation Committee | ☒ Lassen Co. Air Pollution Control |

CITY OF SUSANVILLE:

- | | | | |
|---|--|---|---|
| ☐ City Administration | ☐ Code Enforcement | ☒ Engineering | ☒ Fire Department |
| ☐ Police Department | ☐ Parks & Recreation Department | | |
| ☒ Building Department | | | |

OTHER:

- | | |
|---|---|
| ☐ CA Department of Housing (Mobile Home Parks) | ☐ Historic Uptown Susanville Association |
|---|---|

EXPLANATION: The City of Susanville is soliciting your written comments regarding a Use Permit and Architectural Review for project UPAR #24-010,

PROJECT DESCRIPTION: The applicant proposes to construct a two story four plex at 300 Alexander Avenue. APN 107-083-002-000.

The application, plans and elevations are attached. Additional information regarding this project is contained in City File Number UPAR #24-010, which is available for review at the Planning and Building Department.

ENVIRONMENTAL REVIEW STATUS: Exempt.

DEADLINE: Please submit your written comments on the provided form regarding the above-described project to the City of Susanville at the address listed below, or by responding to Kelly Mumper's email by **August 7, 2024**. Your comments must be received by this time to be considered in the analysis for the project.

LEAD AGENCY INFORMATION

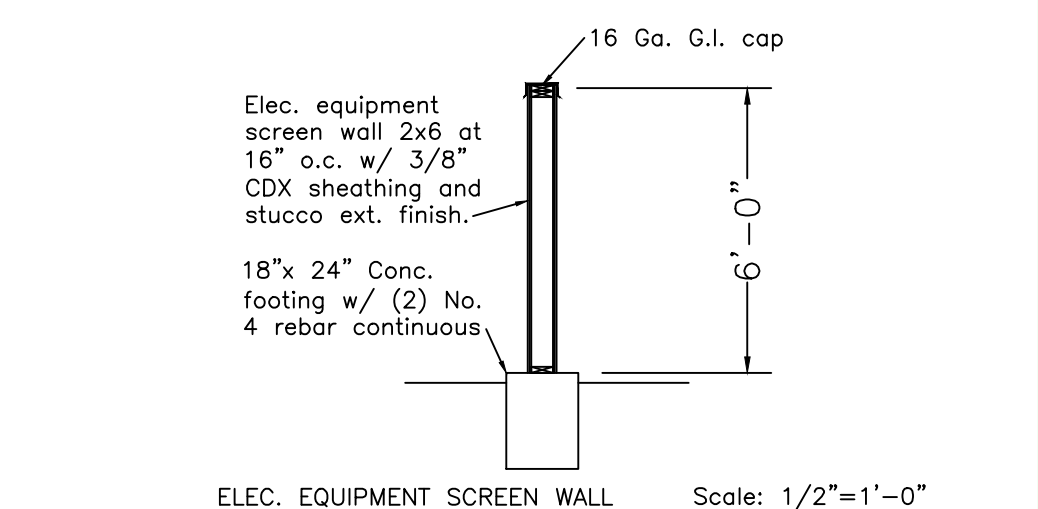
City of Susanville, Planning Department
66 N. Lassen Street
Susanville, CA 96130-3904

CONTACT PERSON

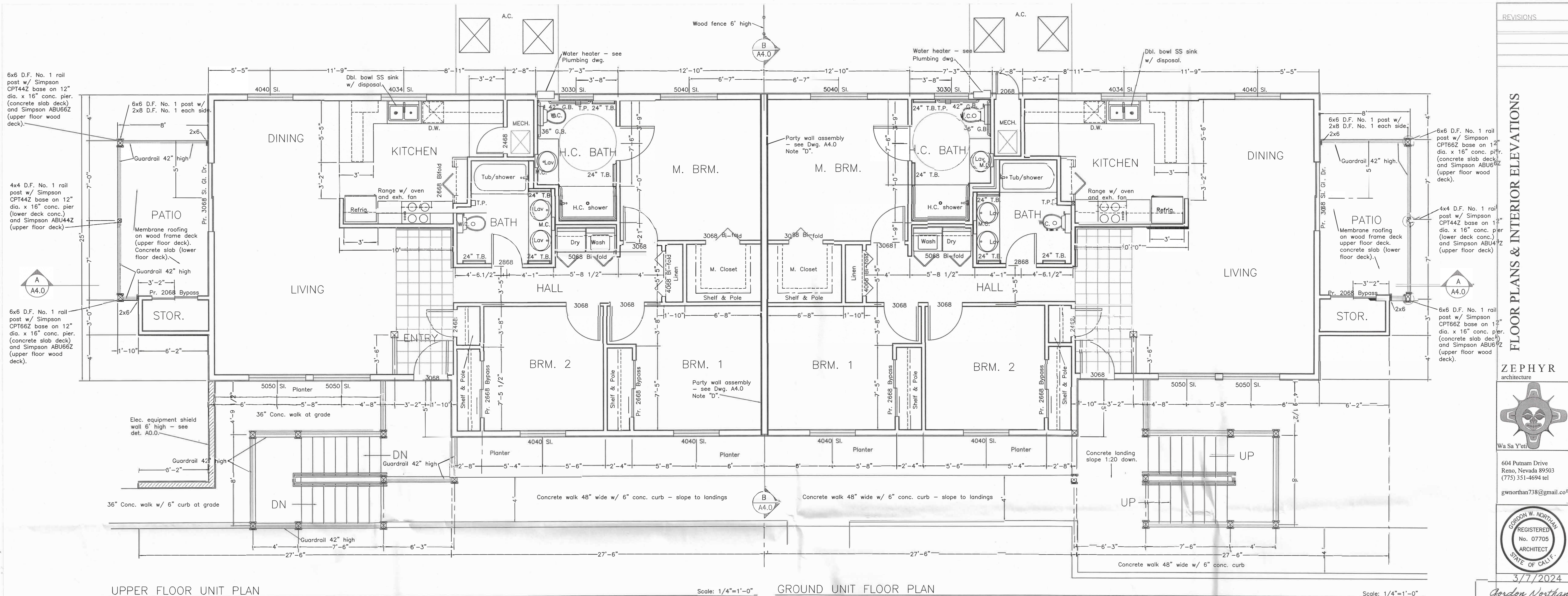
Kelly Mumper, City Planner
Phone: (530) 252-5118
Fax: (530) 257-4725

300 Alexander Avenue, Susanville CA, 96130 APN 107-083-002-000

BY _____, Date: _____ 2024



Scale: 1"=10'

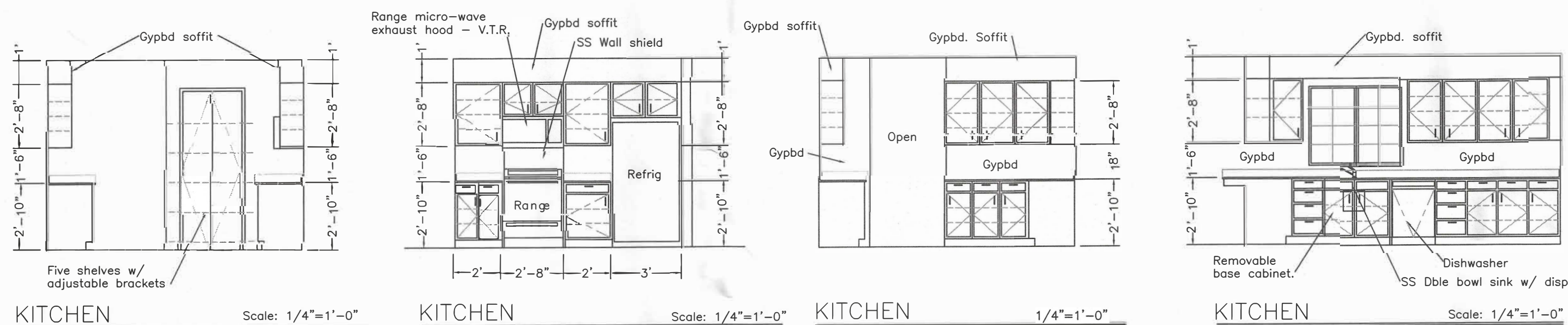


UPPER FLOOR UNIT PLAN

Scale: 1/4"=1'-0"

GROUND UNIT FLOOR PLAN

Scale: 1/4"=1'-0"



KITCHEN

Scale: 1/4"=1'-0"

KITCHEN

Scale: 1/4"=1'-0"

KITCHEN

1/4"=1'-0"

KITCHEN

Scale: 1/4"=1'-0"

KITCHEN CASEWORK NOTES

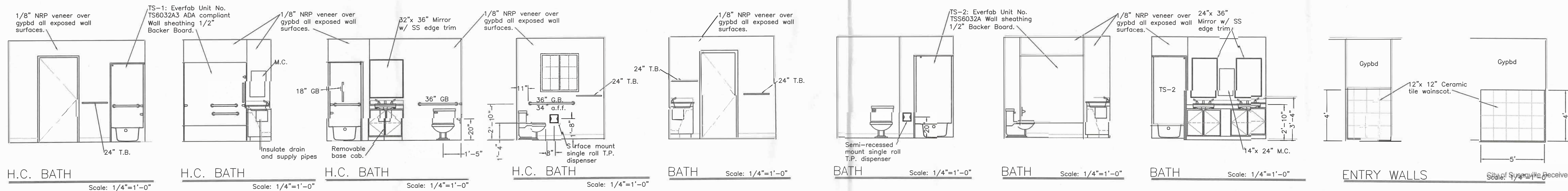
1. Laminated plastic counter tops with 4" high integral splash.
2. Cabinets and casework finishes laminated plastic on exposed surfaces and white Melamine interior surfaces - typical.
3. Drawer and door pulls SS 4" long 1/4" diameter.
4. Drawer slides metal heavy duty tracks.
5. Shelving 1/2" thick AC plywood with banded edges and on adjustable brackets.

BATHROOM FINISH NOTES

1. Laminated plastic counter tops with 4" high integral splash. See dwg. A1.1 for plumbing fixtures and interior finishes.
2. Cabinets and casework finishes laminated plastic on exposed surfaces and white Melamine interior surfaces - typical.
3. Drawer and door pulls SS 4" long 1/4" diameter.
4. Drawer slides metal heavy duty tracks.
5. Towel bars 24" long chrome w/ wall backing.
6. Install 2x8 blocking at all grab bar mounts.

AREA CALCULATIONS: Unit Floor Area: 1,288 net sq. ft. Bldg. net floor area: 5,152 sq. ft.
NOTES: (Structural requirements govern)

1. Exterior walls: 2x6 studs at 16" o.c. w/ 2x6 Redwood or P.T.D.F. sill and 5/8"x 12" M.A.B. w/ 3"x 3"x 1/4" steel plate washers each at 48" o.c. and 8" from ends. Sheath w/ 3/8" Struc 1 CDX plywood or span rated OSB w/ 8d at 4" o.c. edges and 12" o.c. field U.N.O. Double 2x6 top plates w/ 48" lap (min.) w/ (16) 16d each side of joint - typical. Overlay exterior sheathing w/ R-5 rigid foam, 3 mil vapor barrier and finish w/ stucco, sand float texture or hardboard where shown. Insulate exterior wall framing cavities with blown loose fill R-21 fib. Interior face finish 1/2" gypbd tape, seal, texture and paint w/ matte latex enamel. See Structural drawings for holdown locations, framing and sheathing.
2. Floor: Concrete floor slab on grade 4" thick w/ steel trowel finish - see Structural drawings.
3. Interior walls: 2x4 studs at 16" o.c. w/ 2x4 Redwood or P.T.D.F. sill pl. w/ powder actuated fasteners at 24" o.c. and 6" from ends at concrete floors. Install 5/8"x 4" M.A.B. w/ 3"x 3"x 1/4" steel washers each at each side of wall openings. Embed bolts 2" min. in concrete. Double 2x4 top pl. w/ 48" lap (min.) and (12) 16d each side of joint - typical. Finish interior exposed faces w/ 1/2" gypsum board or 5/8" Type "X" gypbd where shown, taped, sealed, textured and paint w/ matte latex enamel - typical.
4. Mechanical HVAC - see Mechanical drawings: Equipment and ducting shall be installed in accordance with the requirements of the energy compliance report and project specifications - see Mechanical drawings. Install 5 lb. type ABC fire extinguisher each unit (wall mount).
5. Plumbing fixtures, piping, piping insulation and accessories - see Plumbing drawings: shall be installed to comply with the energy compliance report, applicable and accessibility codes and project specifications. Provide and install 2x8 stud blocking at grab bar anchor points - typical.
6. Cabinets and casework laminated plastic finish w/ melamine drawer liners and cast stone (Corian) counter tops w/ 4" integral splash and integral lavatories in bathrooms - see interior elevations.
7. Design, engineer and draw NFPA 13 residential compliant fire sprinkler system and submit to owner and governing public agency for approval. Install approved residential fire sprinkler system and coordinate with structure. Provide fire sprinkler water service supply and controls as required for a complete and functional system.
8. Interior Finishes: See Finish Schedule for wall and ceiling finishes.



H.C. BATH

Scale: 1/4"=1'-0"

H.C. BATH

Scale: 1/4"=1'-0"

H.C. BATH

Scale: 1/4"=1'-0"

H.C. BATH

Scale: 1/4"=1'-0"

BATH

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Scale: 1/4"=1'-0"

BATH

Scale: 1/4"=1'-0"

BATH

Scale: 1/4"=1'-0"

ENTRY WALLS

Scale: 1/4"=1'-0"

Scale: 1/4"=1'-0"
Rev. Final
Date: 5/29/2024
File No. sirha riverrock A00
Drawing Identity

A1.0

JUN 24 2024
BUILDING & PLANNING

REVISIONS

FLOOR PLANS & INTERIOR ELEVATIONS

ZEPHYR
architecture



604 Putnam Drive
Reno, Nevada 89503
(775) 351-4694 tel

gwnorhan738@gmail.com



3/7/2024

Gordon Northan

RIVERROCK FAMILY HOUSING
300 Alexander Avenue, Susanville CA 96130
APN 107-083-002-000
Susanville Indian Rancher's Housing Authority
870 Joaquin Street
Susanville, CA 96130



SOUTH-WEST ELEVATION

Scale: 1/4" = 1'-0"



NORTH-EAST ELEVATION

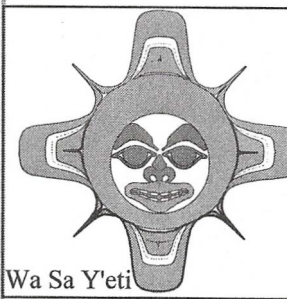
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City of Susanville Received
JUN 24 2024
BUILDING & PLANNING

REVISIONS

BUILDING ELEVATIONS

ZEPHYR
architecture



604 Putnam Drive
Reno, Nevada 89503
(775) 351-4694 tel
3/7/2024
gwnorthan738@gmail.com
Gordon W. Northan



RIVERROCK FAMILY HOUSING
300 Alexander Avenue Susanville, CA 96130
APN 107-083-002-000
Susanville Indian Rancheria Housing Authority
870 Joaquin Street
Susanville, CA 96130

Scale
1" = 1'-0"

Rev. Final

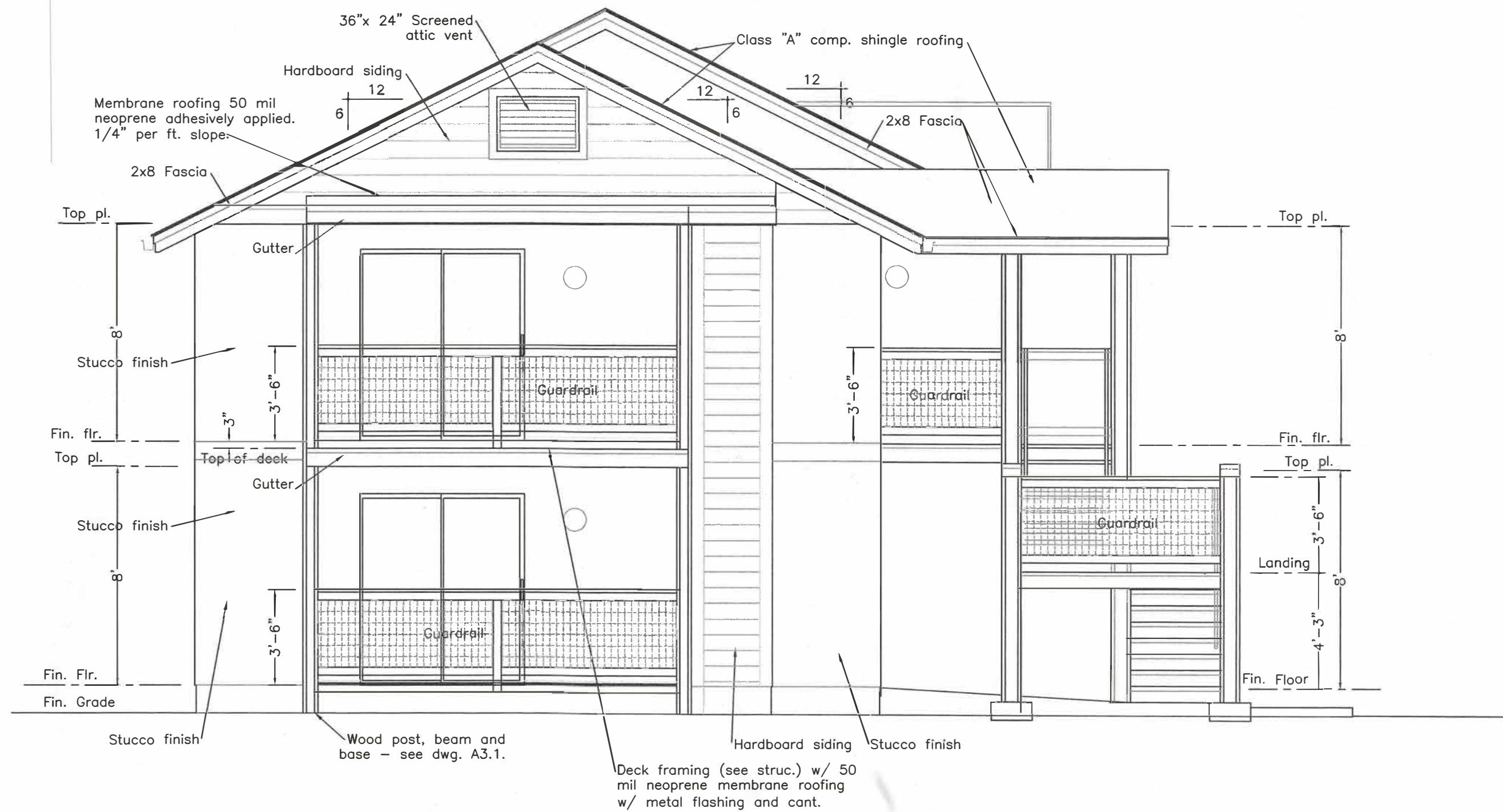
Date 5/29/2024

File No. sirha riverrock A00

Drawing Identity

A5.0

of

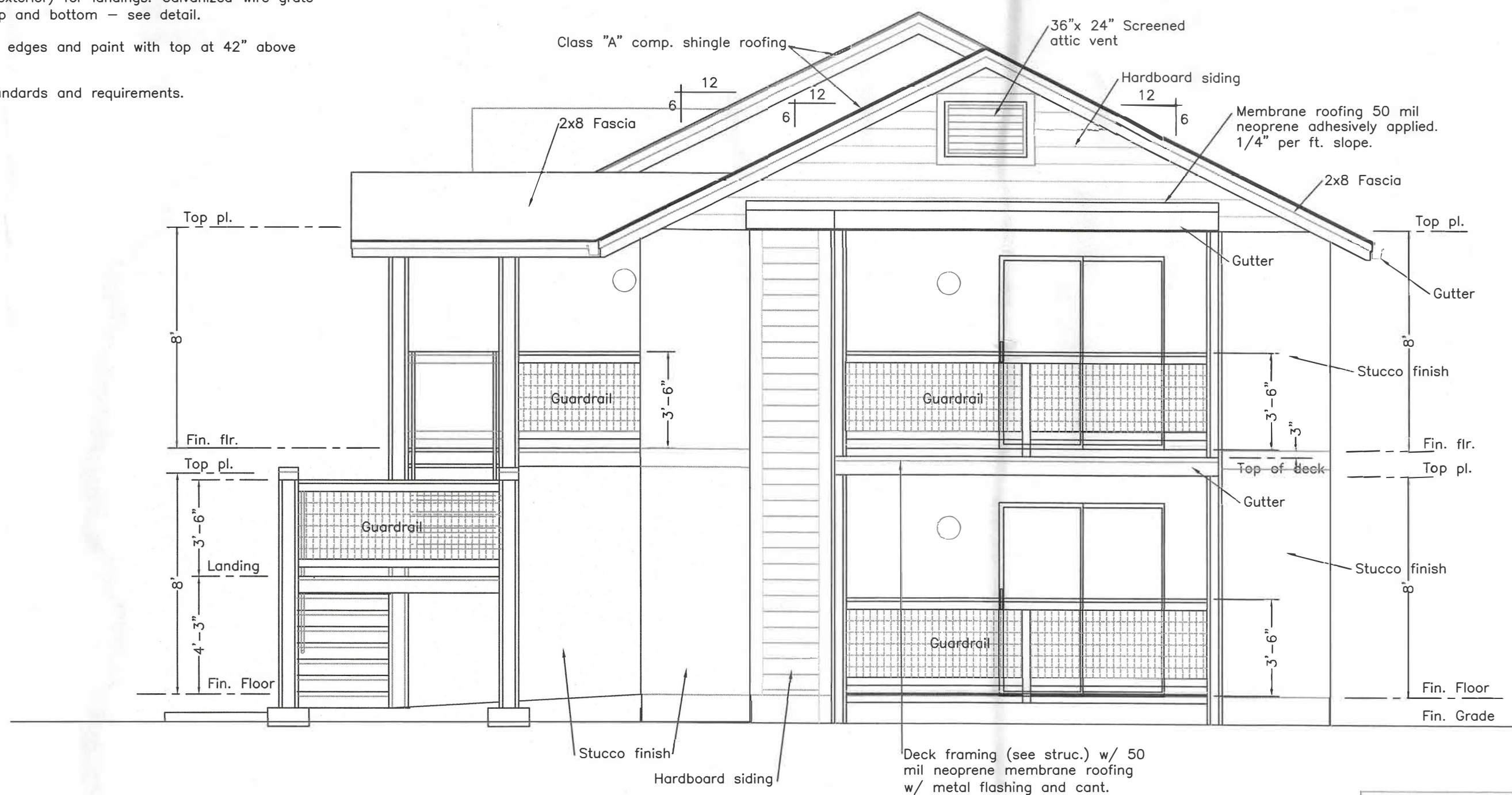


SOUTH-EAST

Scale: 1/4" = 1'-0"

STAIRS AND LANDINGS:

1. Stair treads shall be 12" wide with closed risers 7" high. Treads and landings shall be manufactured or constructed with expanded metal or pierced steel protected with galvanizing or painting to be corrosion resistant.
2. Stair treads shall be manufactured and/or constructed with steel beams mounted on 6x6 D.F. No. 1 columns as required to slope at the rate of 7:12 and galvanized or painted for corrosion protection.
3. Handrails shall be installed on both sides of stairs at 34" above the tread front edge. Handrails shall be 1 1/4" diameter metal with end supports each end and extending from 6" beyond lower support column to upper stair run (interior) handrail and 6" beyond support column (exterior) for landings. Galvanized wire grate approximately 3"x 5" shall be mounted with double 2x4 framing top and bottom - see detail.
4. Finish top of guardrail framing with D.F. No. 1 2x6 flat with eased edges and paint with top at 42" above landing surface typical.
5. Stairs, landings and handrails shall comply with the current IRC standards and requirements.



NORTH-WEST ELEVATION

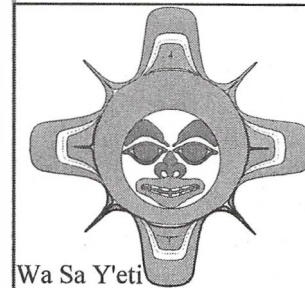
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City of Susanville Received
JUN 24 2024
BUILDING & PLANNING

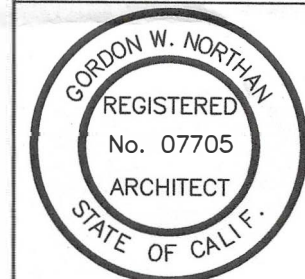
REVISIONS

BUILDING ELEVATIONS

ZEPHYR
architecture



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3/7/2024
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RIVERROCK ;FAMILY HOUSING
300 Alexander Avenue, Susanville CA 96130
APN 107-083-002-000
Susanville Indian Rancheria Housing Authority
870 Joaquin Street
Susanville, CA 96130

Scale 1"=1'-0"

Rev.

Date 3/7/2024

File No. sirha riverrock A00

Drawing Identity

A5.1

of

CITY OF SUSANVILLE PLANNING COMMISSION
STAFF REPORT
August 13, 2024

FILE NUMBER	Use Permit # UP/AR #24-010		
APPLICANT/OWNER	Susanville Indian Rancheria Housing Authority (SIRHA)		
REPRESENTATIVE	Gordon Northan (Project Architect)		
REQUEST	A Use Permit, Architectural Design, and Site Plan Review to allow one fourplex with one unit being ADA accessible.		
ASSESSOR'S PARCEL NO.	107-083-002-000		
PARCEL SIZE	16,825 Square Feet		
LOCATION	300 Alexander Avenue		
EXISTING ZONING	C-1 (Neighborhood Commercial Zoning District)		
SURROUNDING ZONING AND LAND USE	ZONING		LAND USE
	North	C-1	Neighborhood Commercial Zoning District
	South	R-3-A	Duplex/Triplex/Single Family Residential
	East	R-3-A	Duplex/Triplex/Single Family Residential
	West	R-1	Single Family Residential
GENERAL PLAN DESIGNATION	Local/Neighborhood		
ENVIRONMENTAL DETERMINATION	CEQA Categorically Exempt Section 15303(b)		

COMMENTS RECEIVED:

City of Susanville Building Official - Building permits required. All new structures must be constructed to the 2022 building code. Agency approvals required before construction begins.

City Public Works – Provide utility plans for any needed size upgrade or additional water or gas service. Provide grading plan with ADA upgrades at ingress and egress points to Alexander (driveway approach). Install curb, gutter and sidewalk. Encroachment permit for Alexander Avenue driveway is required.

Susanville Police Department –None.

Susanville Fire Department – install sprinkler systems in the new structures. Ensure that all sides of the new apartment building are within 150' of a fire access point (driveway/parking area). Shall comply with Title 24 of the California Building Code.

Susanville Sanitary District-Able to serve the project.

Lassen Municipal Utility District-Able to serve the project.

Caltrans District 2- No comments, outside of jurisdictional boundaries.

BACKGROUND/PROJECT DESCRIPTION:

The applicant is proposing one two story four plex multi-family housing project located at 300 Alexander Avenue (APN #107-083-002-000) in a C-1 (Neighborhood Commercial Zoning District). The project proposes wood framed construction with stucco and wood plank siding. The housing project would consist of four three bedrooms, two bath units with one unit being ADA accessible. Multi-family housing is allowed in a C-1 District by first securing a Use Permit through the City of Susanville Planning Commission pursuant to Chapter 17.32.030(J). The subject parcel has a Land Use Designation of *Local/Neighborhood* pursuant to the *City of Susanville General Plan 1990-2010*. The subject parcel is approximately 16,825 square feet in size and is currently vacant of any land uses

ANALYSIS:

The property is zoned C-1 Neighborhood Commercial Zoning District. The purpose of the neighborhood commercial (C-1) district is to provide for a limited selection of convenience goods and services to residents in the immediate area. The primary tenant is normally a convenience market or small grocery store, a variety of small shops providing other retail goods and services. Motels, service stations, fast food restaurants, take-out food service, and automobile-related uses, all of which generally require and attract high volumes of traffic are not permitted. This district is consistent with the local/neighborhood and general commercial/shopping center general plan designation. The proposed use is allowed by first securing a Use Permit through the City of Susanville Planning Commission. The development is also subject to the multi-family development standards found in section 17.104.110, adopted in 2006, and discussed in detail further below and attached to this report.

The Project will preserve and increase the supply of affordable housing to the residents in Susanville, one of the goals of the City's Housing Element.

MULTI-FAMILY DEVELOPMENT STANDARDS

Multiple story buildings shall be designed, located and oriented to preserve significant views throughout the site as much as practical to natural features. The site has significant views due to the topography. The location of the new buildings are proposed in an area that is already surrounded by existing structures. However, impacts to views from neighboring residences will be affected.

Front yard setbacks along a street right-of-way shall reflect the average setback of existing adjacent residential structures within two hundred (200) feet, which may be greater than those set in each particular zone district. Modulated or varied building setbacks shall be considered if they avoid the creation of a monotonous streetscape. The average front setback on Alexander Avenue within 200 feet of the site is approximately 15 feet.

Except for carports, accessory structures shall be architecturally consistent with the main structures and other site development. The proposed carport will cover 7 parking spaces and will have an architectural style that is consistent with the new apartment buildings.

Where practical, private sidewalks separate from driveways and parking lots shall be provided between dwellings and parking areas, on-site amenities and public sidewalks.

Bicycle parking areas at a rate of 0.5 spaces per dwelling unit shall be provided. Adequate room for bicycle parking has not been provided on the preliminary site plan. If approved, the project shall require adequate bicycle parking for each residence.

At least seventy-five (75) percent of trees planted on-site shall be 1.5 inch caliper in size. A landscaping plan must be provided and approved prior to issuance of building permits.

At least seventy-five (75) percent of shrubs shall be planted from five-gallon size containers.

All disturbed areas shall be covered with an appropriate groundcover to prevent weed and unwanted vegetative growth. Groundcover shall include a weed mat and rock, mulch, wood chips, bark or live plant material. This will be required as part of the landscape plan review.

Total number of trees planted on an entire site shall not be less than one tree per each dwelling unit.

Each dwelling unit shall have a usable outdoor space designed for the exclusive use of that dwelling unit at grade or in the form of a balcony for upper story dwellings, unless approved otherwise by the Planning Commission. The proposed project meets this requirement.

All outdoor lights mounted on poles, buildings or trees that are lit between the hours of ten p.m. and six a.m. shall use full cut-off fixtures. This shall be a condition of the project.

Pole mounted lighting shall be spaced for maximum efficiency and shall be no taller than sixteen (16) feet in height.

Landscaping requirements in this section shall be in addition to those required in Section 17.96.040, Landscaping, unless approved otherwise by the community development director (city planner). A detailed landscaping plan will be required for the areas previously discussed and around the new structures.

SITE DESIGN

The C-1 zone district also requires this proposal to be evaluated against the City's adopted Design Guidelines. The proposed structures will be of wood frame construction with wood or composite material siding and composition shingle roof material. The site plan and building shall be evaluated against the following applicable site and architectural design criteria in the guidelines:

Building location(s) and site layout should provide for a functional relationship with the existing site topography, vegetation and other natural features.

All development proposals should consider existing site conditions and should be designed to be compatible with the surrounding neighborhood and visual environment. The site is flat with no limiting topographical conditions. The surrounding neighborhood is a mixture of single family, multi-family, and neighborhood commercial uses. The proposed design will be compatible with all of these uses.

Natural features should be recognized and integrated into the site plan as much as possible. There are no significant rock outcroppings (natural features) present on the site. The site is vacant and relatively flat.

Rivers, streams, ponds, hillsides, rock formations, mature trees, native vegetation and similar natural features should be incorporated into the overall project design as much as possible. The project site has no significant slopes, rock formations, and includes no hillsides.

Development should be designed to minimize grading, earthwork and land disturbance and maintain the natural topographic features of the site. Accommodation of existing natural conditions can help avoid site problems associated with flooding, steep slopes, natural drainage courses, rock outcrops and other natural features. The site will need minimal grading work to develop.

Buildings should be located and oriented in a manner that preserves significant views. Views from three vantage points are critical in the siting and orientation of buildings:

- a) Looking at the site from neighboring properties and other areas;*
- b) Looking at natural features, vistas, and other properties from the site.*
- c) Looking through the site from key places within the project.*

Even with existing development in the project vicinity, significant views from adjoining properties with existing development may be slightly impacted given the projects proposed two story design. However, there are multiple two-story housing projects adjacent to the project site.

Existing residential land uses should be protected from the noise, traffic, light and glare, fumes, lack of privacy and other potentially offensive aspects of proposed new neighboring land uses. Possible design solutions may include orientation of buildings and site activities away from sensitive areas, buffer plantings, fences, walls, berms, and/or

additional open space separation. Single family residential and multi-family residential uses are generally compatible. The same range of activities occurs on both land use types. Some additional noise may be generated by multi-family developments but not in excess of acceptable residential thresholds. Separation from existing single family dwelling serves to mitigate potential incompatibilities. The project abuts single family residential to the west, multifamily development to the south and east. The fencing requirement calls for either a solid masonry concrete wall, a high-quality permanent, treated wood fence with decorative block pillars or other material(s) found by the community development director to have significant sound deadening qualities.

In established residential areas it is generally desirable to continue the existing setback pattern to retain the character of the area. The setbacks for new construction should reflect the average setback of the existing adjacent structures, within the limitations of the particular zoning district. The proposed site layout meets this recommendation with a 23' 8" setback from Alexander Avenue, over 40' from Riverside Drive, and 15' from the rear property line whereas otherwise a 24' would be required due to the height of the proposed structure and its proximity to a single-family residence. This desired rear yard setback is proposed in order to not create a monotonous street scape and is allowed should the Planning Commission agree.

Site design should minimize changes to natural drainage patterns and avoid significant cut and fill slopes whenever possible. Cuts and fills within the drip-line of existing trees should be avoided. Drainage design should seek to avoid concentrating and accelerating storm runoff. The natural drainage will be maintained and enhanced. No natural drainage courses will be affected by the project, nor will the drainage pattern be significantly affected.

The clustering of buildings and/or uses in larger projects is encouraged. Clustering can minimize the disruption of natural features, provide for more convenient access, reduce improvement costs and create a more functional and cohesive design.

Buildings should be sited and designed so that their forms do not disrupt prominent natural skylines such as ridges or hilltops. Buildings which are silhouetted against natural skylines should be designed to be compatible with the natural setting.

Well-landscaped and functional open space areas around building(s) are strongly encouraged. Open space can reduce the perceived density of development, serve as an effective buffer between adjacent development and sensitive land uses and enhance the overall visual appearance of the project. This policy seems at odds with the policy for clustering buildings. There are and will be landscaped areas between each building landscaping around the perimeter of the project site.

Accommodations for pedestrian and bicycle circulation should be provided for in the site and building designs. For safety reasons, such accommodations should be designed to avoid conflicts with automobile and truck circulation patterns. The internal circulation pattern is very simple and circular in design and there should be no conflicts for pedestrians or bicycles. Bicycle parking is a required element of the project.

Similar adjacent land uses should utilize joint access to arterial and collector streets to minimize disruptions to through traffic, reduce improvement costs, provide additional landscaped and open space areas, and to improve vehicle and pedestrian safety.

Streets and driveways should be designed in conjunction with existing topographic conditions and natural features such as creeks and drainages. This will help to minimize the amount of cut and fill and to preserve natural drainage patterns. There are no significant topographic features on the site.

Service areas and auxiliary structures (garbage dumpsters; propane, gas and oil tanks; utility boxes; etcetera) should be screened from public street view with a fence, wall or appropriate landscaping.

ACCESS & CIRCULATION: Changes to access or circulation are required or proposed as part of this application. An encroachment permit shall be required from the Public Works Department for the Alexander Avenue driveway entrance.

PROPERTY LINES & SETBACKS: All proposed structures will meet the setback requirements for zoning. A 6-foot zone wall or fence is required around the entire site except the street frontage for privacy, line of sight safety, and security purposes.

PARKING: The proposed design meets the compact parking space requirements outlined in the Susanville Municipal Code.

LANDSCAPING AND BUFFERING: The project proposes adequate landscaping for the project site, including areas with sod/grass and native trees and shrubs (9). River rock and mulch is proposed in various areas to help minimize water use and increase fire safety.

WATER QUALITY & DRAINAGE: The new apartment buildings represent the addition of impervious surfaces which will incrementally increase the runoff from the site. The City's public works department did not identify any additional drainage requirements for the project at this time but may ask for additional requirements when the building plans are routed pending approval.

UTILITIES: Utilities will have to be extended to serve the new structures. These will be underground and will meet building/electrical code requirements as well as the extension of sewer lines to serve the new apartment building. The sanitary district has agreed to serve the project.

ARCHITECTURAL REVIEW, SIGNAGE & LIGHTING: The architectural style of the new buildings on the site will have the same paint scheme which will serve to provide a consistent look within the complex. The complex proposes hardboard siding and stucco finish with a composition roof which has a 6/12 pitch.

The look of the new complex is appropriate for the area and should not detract from the

surrounding neighborhood. The project is visible from public rights-of-way. New exterior lighting is expected in association with the new structures. The lighting will be required to have full cut-off fixtures and shall be downward directional. A lighted directory sign will be required for the complex which shows the building numbering. Units shall be assigned addresses by unit number not letter, per the Postmaster of Sacramento, CA.

GENERAL PLAN: The City's General Plan Land Use designation for the property is Local/Neighborhood which has the following description:

This designation is for the city's least intensive and smallest-scale neighborhood commercial areas which consist of small clusters of two or more commercial establishments grouped around an intersection which function as a small shopping center with shared off-street parking and access. The primary tenant is normally a convenience market or small grocery store and a variety of small shops providing other retail goods and services. Uses may not be visitor-serving (i.e., attracting tourists and functioning as strip commercial development. For example, motels, service stations and drive-through restaurants are not allowed.) Auto traffic may be generated at low levels, limited to certain hours; permitted uses are not expected to generate truck traffic except for delivery purposes. Hazardous materials may conditionally be allowed to be stored and used in volumes in excess of those found in single-family dwellings, but they may not be generated or created. Uses must be within a building and must be compatible (physically and socially) with the neighborhood. In addition to the uses in the shopping center small business and professional offices may also be permitted on individual parcels or a group of parcels. Limited residential uses, as determined by zoning, may also be appropriate in this land use category. [Source: Existing General Plan]

Density/Intensity Range:

- Density: 5.0 to 20.0 du/ac
- Intensity: N/A
- Corresponding Zoning: C-1, C-O

Goal 1: Provide housing opportunities and promote the development of safe, sanitary, and desirable housing for persons of all economic levels.

Goal 2: Preserve and increase the existing supply of rental apartments.

Goal 4: Provide a choice of affordable housing by location, type, price, and tenure.

Policy 1.4: Ensure that adequate residentially zoned land is available to accommodate the City's fair share of regional housing construction needs.

Policy 1.5: Maintain and conserve the existing supply of low-cost housing.

Policy 2.3: The City or its designee shall insure that occupants of non-market-rate units meet the income restrictions of the development, and that these units are preserved as affordable – even upon change of ownership.

Policy 3.4: The selective rehabilitation of non-conforming housing shall be permitted

and encouraged.

ENVIRONMENTAL DETERMINATION (CEQA):

The project is categorically exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to Section 15303(b) of the CEQA Guidelines which allows for up to 4 housing units under this exemption.

RECOMMENDATION: Staff has prepared an approving and disapproving resolution for the Planning Commissions consideration.

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The foregoing resolution was introduced and adopted at a regular meeting of the Planning Commission of the City of Susanville, held on the 13th day of August 2024, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Heidi Whitlock, City Clerk
Secretary to the Planning Commission

RESOLUTION NO. 24-1182
A RESOLUTION OF THE SUSANVILLE PLANNING COMMISSION
APPROVING A USE PERMIT AND ARCHITECTURAL DESIGN AND SITE
PLAN REVIEW TO ALLOW ONE TWO STORY FOURPLEX WITH ONE ADA
ACCESSIBLE UNIT, TOTALING 4 UNITS IN A C-1 ZONE ON PROPERTY
LOCATED AT 300 ALEXANDER AVENUE FILE NUMBER UP/AR #24-010
APN 107-083-002-000

WHEREAS, Susanville Indian Rancheria Housing Authority (SIRHA) has applied for a Use Permit/Architectural and Site Plan Review to allow the construction of one two story fourplex with one ADU accessible unit totaling four housing units on 300 Alexander Avenue in Susanville, CA 96130 and is assigned Assessor's Parcel Number (APN): 107-083-002-000 and;

WHEREAS, Multifamily housing is allowed in a C-1 Zoning District by first securing a Use Permit through the City of Susanville Planning Commission and;

WHEREAS, the applicants are requesting a setback reduction for the property line abutting the parcel with a single family residence from the required 24' to 15' in order to prevent monotonous streetscape and preserve the remaining project amenities for tenants and;

WHEREAS, the Susanville Planning Commission at a public hearing held during its regular meeting on August 13, 2024, considered both written and oral comments presented concerning the proposed project as required by City Code Section 17.112.20 E and;

WHEREAS, property owners were notified in a 300 ft. radius of the proposed project site and a legal publication was published via the Modoc Record stating the project description on August 1 2024, and;

WHEREAS, the proposal will not negatively affect line of sight safety for the residence, neighboring residences, or residential traffic; and

WHEREAS, the City of Susanville Planning Division has determined that the project is Categorically Exempt under Article 19, Section 15303(b) of the CEQA guidelines.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission:

A) Makes the following findings:

1. That the proposed project is consistent with the General Plan and the Zoning Ordinance.
2. That the establishment, maintenance, or operation of the subject use, building or facilities applied for will not, under the circumstances of the particular use, with the conditions imposed thereon, be detrimental to or contrary to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of the proposed use and will not be injurious or detrimental to property or improvements in the neighborhood or the general welfare of the city.
3. The conditions imposed upon approval of this use are necessary to further the public health, safety, peace comfort and general welfare of the city.
4. The approval of the Architectural and Site Plan Review to allow the construction of 4 apartment units is consistent with the Susanville Municipal Code C-1 Zoning District.
5. The approval to allow the construction of 4 apartment units provide a housing

1 opportunity not currently available in the City complies with and is supported by the
2 goals, policies and action programs of the Housing Element and Land Use Element of
the General Plan, including, but not limited to the following:

3 Housing Variety

Goal 1: Provide a range of housing types.

4 Goal 2: Preserve and increase the existing supply of
rental apartments.

5 Policy 1.1 The City shall encourage a mix of housing types including
6 single family, multiple family and mobile homes.

7 Policy 1.4 Ensure that adequately residentially zoned land is available
to accommodate the City's fair share of regional housing construction
needs.

8 Policy 1.5: Maintain and conserve the existing supply of low-cost
9 housing.

10 Housing Opportunity

11 Goal 1: Provide housing opportunities and promote the development
of safe, sanitary and desirable housing for persons of all economic
levels.

12 Goal 2: Insure a choice of housing types and locations to all persons
regardless of race, sex, cultural origin, age, marital status or physical
disability.

13 Goal 4: Provide a choice of affordable housing by location, type,
14 price and tenure.

15 Policy 2.3: The City or its designee, shall insure that occupants of
non-market-rate units meet the income restrictions of the
development, and that these units are preserved as affordable -
16 even upon change of ownership.

17 Policy 2.5: The City supports a free choice in housing.

18 Housing Quality

Goal 2: Enhance the residential quality and character of Susanville.

19 Policy 3.1: Promote efficient and environmentally sensitive residential
development.

20 Policy 3.4: The selective rehabilitation of non-conforming housing shall
be permitted and encouraged.

21 Policy 3.5: The City shall endeavor, through the development
approval process, to insure that Susanville's community character
and housing quality are maintained and improved.

22 Land Use Compatibility

23 Policy C: Amend the General Plan and Zoning Map to allow higher density
24 housing to be located throughout the community rather than concentrated in
a few small areas.

- 25
26 B) Approves Use Permit/Architectural & Site Plan Review (AR#24-010) for (SIRHA) in
27 accordance with the site layout plan, "CITY OF SUSANVILLE RECEIVED June 24th,
2024, BUILDING AND PLANNING" and included in the attached staff report, except as
28 modified by the following terms, agreements and conditions contained in this Resolution:

AREA/ SITE SPECIFIC CONDITIONS

1. Compliance with the 2022 California Building Code, Title 24, for any future proposed work requiring a building permit.
2. Prior to the occupancy of any building within the city and throughout the life of the building, the owner of said building shall comply with the requirements of this section:
 - A. All numbers shall be assigned by the city, shall be legible, shall be placed in an approved location and shall be easily viewed from the public entrance to the property.
 - B. All numbers shall be maintained for the life of the use.
 - C. All new numbers shall be internally illuminated, with a contrasting background, four-inch minimum height and one-half-inch minimum stroke width. (Ord. 13-994 § 1, 2013).
3. Adequate addressing of the business location shall comply with Chapter 15.08.010.
4. Install curb, gutter, sidewalk, and driveway on Alexander Avenue and curb, gutter, and sidewalk on Riverside pursuant to the Susanville Municipal Code Chapter 12.20 standards.
5. All landscaping required by this section shall be installed and maintained in accordance with a landscaping plan. The plan shall be submitted to and approved by the City Planner prior to issuance of a building permit or use permit, and shall show the location, size and variety of all plants, water supply and other pertinent improvements. This plan may be combined with a parking plan. (Ord. 06-932 § 1, 2006; Ord. 00-866 § 2, 2000).
6. Fence heights that propose solid construction along the property line of Alexander Avenue shall be 3ft. to preserve line of sight safety for pedestrians, tenants, and traffic localized on Alexander and Riverside Drive.
7. An interior fence height of 6ft. may be proposed for the housing unit which faces Alexander but shall not conflict with condition number 6 above.
8. Provide utility plans for any needed size upgrade or additional water or gas service. Provide grading plan with ADA upgrades at ingress and egress points to Alexander (driveway approach).

GENERAL

1. This permit will become null and void if the approved project has not secured a building permit for construction within two years from the date of adoption of this resolution unless an extension of the life of the permit is approved by the Planning Commission. It is the applicant's responsibility to request an extension within a reasonable time frame, if needed.
2. Any modifications to the submitted design proposal after approval by the Planning

- 1 Commission shall require a new application and review by the Planning Commission.
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- 3 3. Compliance with Chapter 17.48 et seq. shall be required.
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- 5 4. Compliance with the California Fire Code and a knock box for emergency access shall
6 be required if deemed necessary by the Fire Chief.
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- 8 5. Install fire sprinkler systems in the new structures/units.
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- 10 6. Shall comply with Title 24 of the California Building Code.
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- 12 7. Provide bicycle parking for a minimum of 2 bicycles.
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- 14 8. Provide a minimum of 8 total parking spaces.
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- 16 9. Provide ADA parking spaces in accordance with the California Building Code
17 requirements.
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- 19 10. The requirements of all concerned governmental agencies having jurisdiction by law,
20 including but not limited to the issuance of appropriate permits shall be met.
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- 22 11. For the purposes of assuring compliance, the applicant, agents, representatives or their
23 assignees agree not to deny or impede access to the subject property by City
24 employees in the performance of their duties.
- 25
- 26 12. All contractors and sub-contractors involved in the project shall obtain a City of
27 Susanville Business License and maintain said license in force for the duration of the
28 project.
13. The applicant/owner shall indemnify, protect, defend, and hold harmless, the City,
and/or any of its officials, officers, employees, agents, departments, agencies, and
instrumentalities thereof, from any and all claims, demands, lawsuits, writs of mandamus,
and other actions and proceedings (whether legal, equitable, declaratory, administrative or
adjudicatory in nature), and alternative dispute resolutions procedures (including, but not
limited to arbitrations, mediations, and other such procedures, collectively "Actions"),
brought against the City, and/or any of its officials, officers, employees, agents,
departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to
modify, set aside, void, or annul, the any action of, or any permit or approval issued by, the
City and/or any of its officials, officers employees, agents, departments, agencies, and
instrumentalities thereof (including actions approved by the voters of the City), for or
concerning the project, whether such Actions are brought under the California
Environmental Quality Act, the Planning and Zoning Law, the Subdivision Map Act, Code of

Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that developer shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the developer of any Action brought and City shall cooperate with developer in the defense of the Action.

14. Prior to the issuance of building permits, improvement plans shall be submitted to and be approved by the City. All improvements shall be installed in accordance with said improvement plans prior to the issuance of a certificate of occupancy.

15. All activities associated with a building site shall be conducted in a manner to control fugitive dust emissions through the use of dust palliative agents or the use of water to mitigate offsite impacts in accordance with Lassen County Air Quality District adopted regulations.

16. The owner/developer shall pay the cost for rearrangement, relocation, or removal of any utilities caused by any construction activity, whether inside or outside of the project where such work is a condition of or necessary to serve the project.

17. All new or relocated utility lines shall be placed underground and easements shall be provided if required.

18. The improvement plans for the water supply and natural gas supply shall be reviewed and approved by the City prior to the installation of the facilities. Water supply main lines, meters, appurtenant facilities, and service connections to the site shall be installed in accordance with the construction and testing standards of the City of Susanville.

19. All natural gas mains and service lines and appurtenances for the proposed project will be installed by the City of Susanville or its qualified contractor at the expense of the developer and to City construction standards. Gas line trenching will be provided by the developer and can be installed in a common trench with water per City Standards. Construction costs may be offset by installing gas lines in common trenches with water lines.

20. Prior to the issuance of building permits, the developer shall pay all inspection, capital improvement and facilities fees, connection and other capacity charges or fees as established by the City for the water supply and natural gas.

21. Contact Lassen Municipal Utility District before construction or before any electrical design is started for the project and complies with LMUD standards and specifications. All utility lines shall be placed underground.

22. Meet the requirements of the Susanville Sanitary District (SSD) and include their requirements in the final design plans for a building permit. Owner/developer shall comply with all Susanville Sanitary District requirements.

23. The fire alarm system for the entire complex shall meet current fire code requirements.

1 24. Ensure that each wall of the new apartment building is within 150 feet of a fire access
2 point (parking lot or driveway).

3 25. Fire lane curbs shall be painted red on both sides of the main driveway.

4 26. Trash enclosures shall be provided per Susanville Municipal Code Section 17.020.060
5 H which states: *"Outdoor Trash Storage. All outdoor trash storage and collection facilities*
6 *other than standard containers for individual residential use shall be enclosed by a solid*
masonry wall or view-obscuring fence at least one foot higher than the trash container."

7 27. Prior to issuance of a building permit, irrigation and landscaping plan (including the
8 species, size and placement of trees and shrubs) shall be submitted to the Community
9 Development Department for approval. Trees and shrubs required by code shall be a
10 minimum 1 ½" caliper and 75% of the shrubs shall be a minimum of 5 gallon size, 25% may
11 be 2 gallon containers. Size of additional plantings not required by code may be alternate
12 sizes. The landscape and irrigation improvements identified in the approved construction
13 plans shall be installed prior to the issuance of a Certificate of Occupancy unless otherwise
14 provided for. All landscaping shall be maintained in a healthy and growing condition.

15 28. All disturbed areas on the site shall be planted and maintained with shrubs or native
16 plant material and a permanent irrigation system or covered with weed mat and rock or
17 other appropriate barrier to keep the site weed free.

18 29. The design of any and all signs shall be approved and permitted by the Community
19 Development Department prior to installation.

20 30. For new lighting, a plan shall be submitted that shows the location, height, type and
21 spread of exterior lighting on the site. All lighting shall be downward directional and include
22 full cut-off fixtures to protect the Susanville night sky and adjacent parcels from unsightly
23 glare. New on-site lighting shall conform to Section 17.96.050 of the City of Susanville
24 Municipal Code.

25 31. All numbers shall be assigned by the City and be obtained from the Building and
26 Planning Division. Numbers shall be legible, shall be placed in an approved location and
27 shall be easily viewed from the public entrance to the property. Numbering plans for multiple
28 units, condominium projects and alike shall be submitted and approved during the project
review process. The use of letters to identify units is prohibited.

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APPROVED: _____
James Merchant Chairperson
Planning Commission
City of Susanville, State of California

ATTEST: _____
Heidi Whitlock, City Clerk
Secretary to the Planning Commission

The foregoing resolution was introduced and adopted at a regular meeting of the Planning Commission of the City of Susanville, held on the 13th day of August 2024, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Heidi Whitlock, City Clerk
Secretary to the Planning Commission

SUSANVILLE PLANNING COMMISSION AGENDA ITEM

Submitted By: Kelly Mumper, Building & Planning Division

Action Date: August 13, 2024

SUBJECT: Consider the appointment of a Chair and Vice Chair for the Susanville Planning Commission

PRESENTED BY: Kelly Mumper, City Planner

SUMMARY: Per Susanville Municipal Code Section 2.36.110, the Commission shall appoint a chairperson and vice-chairperson from among its members. The chairperson will serve for a one-year term, or until the successor of each is appointed and takes office. Typically, appointments occur at the first meeting in July and the new chair shall presume office at the second meeting. However, the chair and vice-chair shall presume office at the next scheduled meeting.

FISCAL IMPACT: None.

ACTION REQUESTED: Motion to appoint both a Chair and Vice Chair for the Susanville Planning Commission

ATTACHMENTS: